

CONTRACTOR: *Ed Plant* DATE 3/18/82

SCHMITZ DEVELOPMENT, INC.
1545 A. Marks Plaza, Suite 1
Stockton, Ca. 95207
(209) 477-2671

ARCHITECT: *Lawrence Cook* DATE 28 Dec. 1981

LAWRENCE COOK, C-5462
2091 Old Santa Cruz Highway
Los Gatos, California 95030
(408) 353-1500

OWNER: WATERFRONT OFFICE TOWERS I, LTD.

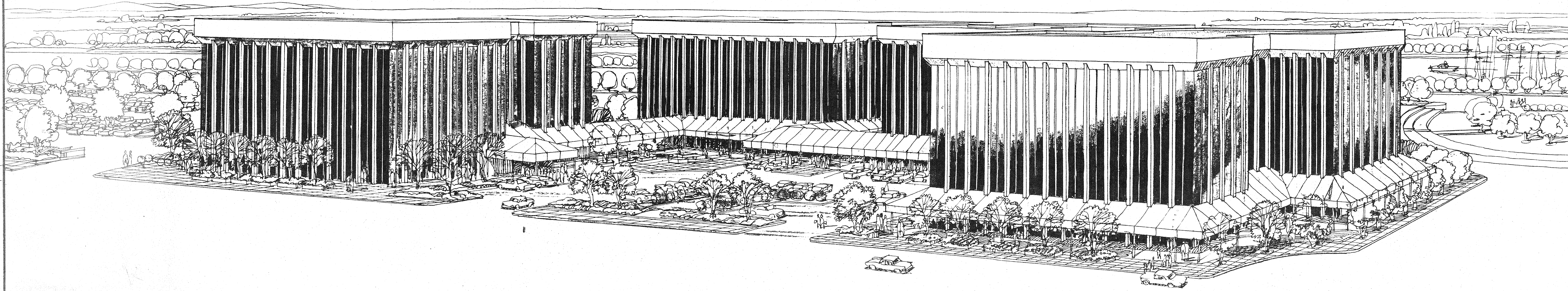
Ed Plant DATE 3/18/82
SCHMITZ DEVELOPMENT, INC. - GENERAL PARTNER

Ed Plant DATE 3/18/82
ECKHARD SCHMITZ - GENERAL PARTNER

Ed Plant DATE 3/18/82
LIMITED PARTNER

Raycutt DATE 3-18-82
LIMITED PARTNER

ENERGY CONSERVATION SYSTEMS, INC.
ENERGY CONSERVATION SYSTEMS, INC.
ENERGY CONSERVATION SYSTEMS, INC.



THE WATERFRONT OFFICE TOWERS

b u i l d i n g s I & II s t o c k t o n , c a l i f o r n i a

LEGEND - USE OF SITE

I N D E X

O F

D R A W I N G S

LEGEND - USE OF SITE			I N D E X			O F			D R A W I N G S			
	PAGE	SHEET	DESCRIPTION	PAGE	SHEET	DESCRIPTION	PAGE	SHEET	DESCRIPTION	PAGE	SHEET	DESCRIPTION
BUILDING I				31	A-26	BUILDING II - ARCADE FRAMING PLAN	64	S-32	STRUCTURAL BUILDING I - SECTIONS & DETAILS			
FIRST FLOOR	8,861	sq. ft.	1	1	TITLE	32	A-27	BUILDING I & II SITE PAVING PLAN	65	S-33	STRUCTURAL BUILDING I - SECTIONS & DETAILS	
SECOND FLOOR	11,537	sq. ft.	2	X-1	TOPOGRAPHIC & BOUNDARY PLAN	33	S-1	STRUCTURAL BUILDING II - GENERAL NOTES	66	S-34	STRUCTURAL BUILDING I - ARCADE FRAMING PLAN	
THIRD FLOOR	11,537	sq. ft.	4	X-3	GRADING & DRAINAGE PLAN - MASTER	34	S-2	STRUCTURAL BUILDING II - GENERAL DETAILS	67	S-35	STRUCTURAL BUILDING I - ARCADE SECTIONS & DETAILS	
FOURTH FLOOR	11,537	sq. ft.	5	X-4	GRADING & DRAINAGE PLAN - PHASE I	35	S-3	STRUCTURAL BUILDING II - FOUNDATION & BASEMENT FLR. PLAN	68	S-36	STRUCTURAL BUILDING I - ARCADE SECTIONS & DETAILS	
FIFTH FLOOR	11,537	sq. ft.	6	A-1	SITE PLAN	36	S-4	STRUCTURAL BUILDING II - FIRST FLOOR FRAMING PLAN	69	L-1	LANDSCAPE SITE PLAN	
MECHANICAL	671	sq. ft.	7	A-2	ROOM FINISH SCHEDULE	37	S-5	STRUCTURAL BUILDING II - 2nd & 3rd FLOOR FRAMING PLAN	70	L-2	IRRIGATION SITE PLAN	
TOTAL	55,680	sq. ft. (GROSS)	8	A-3	ROOM FINISH SCHEDULE	38	S-6	STRUCTURAL BUILDING II - 4th & 5th FLOOR FRAMING PLAN	71	L-3	LANDSCAPE & IRRIGATION DETAILS	
BUILDING II			9	A-4	BUILDING I - FIRST FLOOR PLAN	39	S-7	STRUCTURAL BUILDING II - ROOF FRAMING PLAN	72	P-1	PLUMBING SITE PLAN & DETAILS	
BASEMENT	12,021	sq. ft.	10	A-5	BUILDING I - SECOND FLOOR PLAN	40	S-8	STRUCTURAL BUILDING II - FOUNDATION DETAILS	73	P-2	PLUMBING BUILDING I - FIRST FLOOR PLAN	
FIRST FLOOR	8,861	sq. ft.	11	A-6	BUILDING I - THIRD, FOURTH & FIFTH FLOOR PLANS	41	S-9	STRUCTURAL BUILDING II - FOUNDATION DETAILS	74	P-3	PLUMBING BUILDING II - FIRST FLOOR PLAN	
SECOND FLOOR	11,537	sq. ft.	12	A-7	BUILDING I - ROOF PLAN	42	S-10	STRUCTURAL BUILDING II - COLUMN SCHEDULE, SECTIONS, DETAILS	75	P-4	PLUMBING UPPER FLOOR PLAN & SCHEDULES	
THIRD FLOOR	11,537	sq. ft.	13	A-8	BUILDING II - BASEMENT FLOOR PLAN	43	S-11	STRUCTURAL BUILDING II - SHEAR WALL ELEVATIONS	76	P-5	PLUMBING ROOF PLAN & DETAILS	
FOURTH FLOOR	11,537	sq. ft.	14	A-9	BUILDING II - FIRST FLOOR PLAN	44	S-12	STRUCTURAL BUILDING II - SECTIONS & DETAILS	77	P-6	PLUMBING BUILDING II - BASEMENT FLOOR PLAN	
FIFTH FLOOR	11,537	sq. ft.	15	A-10	BUILDING II - SECOND FLOOR PLAN	45	S-13	STRUCTURAL BUILDING II - SECTIONS & DETAILS	78	M-1	MECHANICAL BUILDING II - BASEMENT FLOOR PLAN	
MECHANICAL	671	sq. ft.	16	A-11	BUILDING II - THIRD, FOURTH & FIFTH FLOOR PLANS	46	S-14	STRUCTURAL BUILDING II - SECTIONS & DETAILS	79	M-2	MECHANICAL FIRST FLOOR PLAN	
TOTAL	67,701	sq. ft. (GROSS)	17	A-12	BUILDING II - ROOF PLAN	47	S-15	STRUCTURAL BUILDING II - SECTIONS & DETAILS	80	M-3	MECHANICAL 2nd, 3rd & 4th FLOOR PLAN	
PARKING			18	A-13	BUILDING I - EXTERIOR ELEVATIONS	48	S-16	STRUCTURAL BUILDING II - SECTIONS & DETAILS	81	M-4	MECHANICAL FIFTH FLOOR PLAN	
UNCOVERED SITE PARKING	42	autos	19	A-14	BUILDING I & II - EXTERIOR MALL ELEVATIONS	49	S-17	STRUCTURAL BUILDING II - ARCADE FRAMING PLAN	82	M-5	MECHANICAL ROOF PLAN	
(30 regular, 8 compact & 4 handicap)			20	A-15	BUILDING I - EXTERIOR ELEVATIONS	50	S-18	STRUCTURAL BUILDING II - ARCADE SECTIONS & DETAILS	83	M-6	MECHANICAL CONTROL DIAGRAMS	
THE TWO STORY PARKING GARAGE SHALL BE PUBLISHED UNDER A SEPARATE SET OF CONTRACT DOCUMENTS.			21	A-16	BUILDING II - EXTERIOR ELEVATIONS	51	S-19	STRUCTURAL BUILDING II - ARCADE SECTIONS & DETAILS	84	E-1	ELECTRICAL SITE PLAN	
LOWER FLOOR	112	autos	22	A-17	BUILDING I - SECTIONS	52	S-20	STRUCTURAL BUILDING I - GENERAL NOTES	85	E-2	ELECTRICAL BUILDING I - LIGHTING FIRST FLOOR PLAN	
(112 regular)			23	A-18	BUILDING II - SECTIONS	53	S-21	STRUCTURAL BUILDING I - GENERAL DETAILS	86	E-3	ELECTRICAL POWER & TELEPHONE FIRST FLOOR PLAN	
UPPER FLOOR	116	autos	24	A-19	BUILDING II - SECTIONS	54	S-22	STRUCTURAL BUILDING I - FOUNDATION & FIRST FLOOR PLAN	87	E-4	ELECTRICAL LIGHTING SECOND FLOOR PLAN	
(90 regular, 21 compact & 5 handicap)			25	A-20	PARTIAL FLOOR PLANS & INTERIOR ELEVATIONS	55	S-23	STRUCTURAL BUILDING I - 2nd & 3rd FLOOR FRAMING PLAN	88	E-5	ELECTRICAL POWER & TELEPHONE SECOND FLOOR PLAN	
TOTAL	270	autos	26	A-21	BUILDING I & II - STAIRWAY & ELEVATOR SECTIONS	56	S-24	STRUCTURAL BUILDING I - 4th & 5th FLOOR FRAMING PLAN	89	E-6	ELECTRICAL LIGHTING THIRD FLOOR PLAN	
			27	A-22	FRAMING DETAILS	57	S-25	STRUCTURAL BUILDING I - ROOF FRAMING PLAN	90	E-7	ELECTRICAL POWER & TELEPHONE THIRD FLOOR PLAN	
			28	A-23	FRAMING DETAILS	58	S-26	STRUCTURAL BUILDING I - FOUNDATION DETAILS	91	E-8	ELECTRICAL ROOF PLAN	
			29	A-24	FRAMING DETAILS	59	S-27	STRUCTURAL BUILDING I - FOUNDATION DETAILS	92	E-9	ELECTRICAL BUILDING II - BASEMENT FLOOR PLAN	
			30	A-25	BUILDING I - ARCADE FRAMING PLAN	60	S-28	STRUCTURAL BUILDING I - COLUMN SCHEDULE, SECTIONS, DETAILS	93	E-10	ELECTRICAL BUILDING II - LIGHTING FIRST FLOOR PLAN	
						61	S-29	STRUCTURAL BUILDING I - SHEAR WALL ELEVATIONS	94	E-11	ELECTRICAL SINGLE LINE DIAGRAMS & DETAILS	
						62	S-30	STRUCTURAL BUILDING I - SECTIONS & DETAILS	95	E-12	ELECTRICAL POWER RISER DIAGRAMS	
						63	S-31	STRUCTURAL BUILDING I - SECTIONS & DETAILS	96	E-13	ELECTRICAL LEGEND & SCHEDULES	

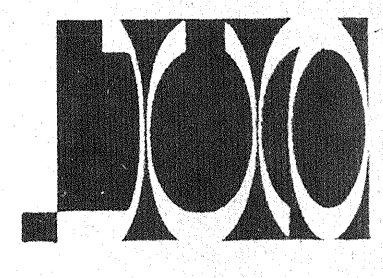
DATE 15 OCTOBER 1981

THE WATERFRONT OFFICE TOWERS
stockton downtown redevelopment
weber avenue & lincoln street
stockton, california

SCHMITZ DEVELOPMENT, INC.
COMMUNITY DEVELOPERS
STOCKTON, CALIF. 95207

California certificate no. C-5462

Lawrence Cook
Lawrence Cook
Architect AIA
20091 Old Santa Cruz Highway
Los Gatos California 95030



NOTE

1. Some existing underground facilities are not shown. Refer to City of Stockton Records, public utility company records and the Master Plan for the Waterfront project.
2. Grading adjacent construction has modified existing ground conditions.

LEGEND

- Proposed property line
- ==== Railroad Tracks
- Railroad track switch
- 97.90 K Top of rail Elev
- 98.50 Topographic Elev
- M.H. Manhole
- P.P. Power Pole
- T.O.C. Top of Curb
- FL Flow Line
- SS--- Sanitary Sewer
- D--- Storm Drain
- W--- Water Main
- ▭ Paving
- S--- Sanitary Lamphole
- ⊕ F ⊕ Frog
- C.B. Catchbasin

SCALE 1" = 30'

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DATE 15 OCT 1981

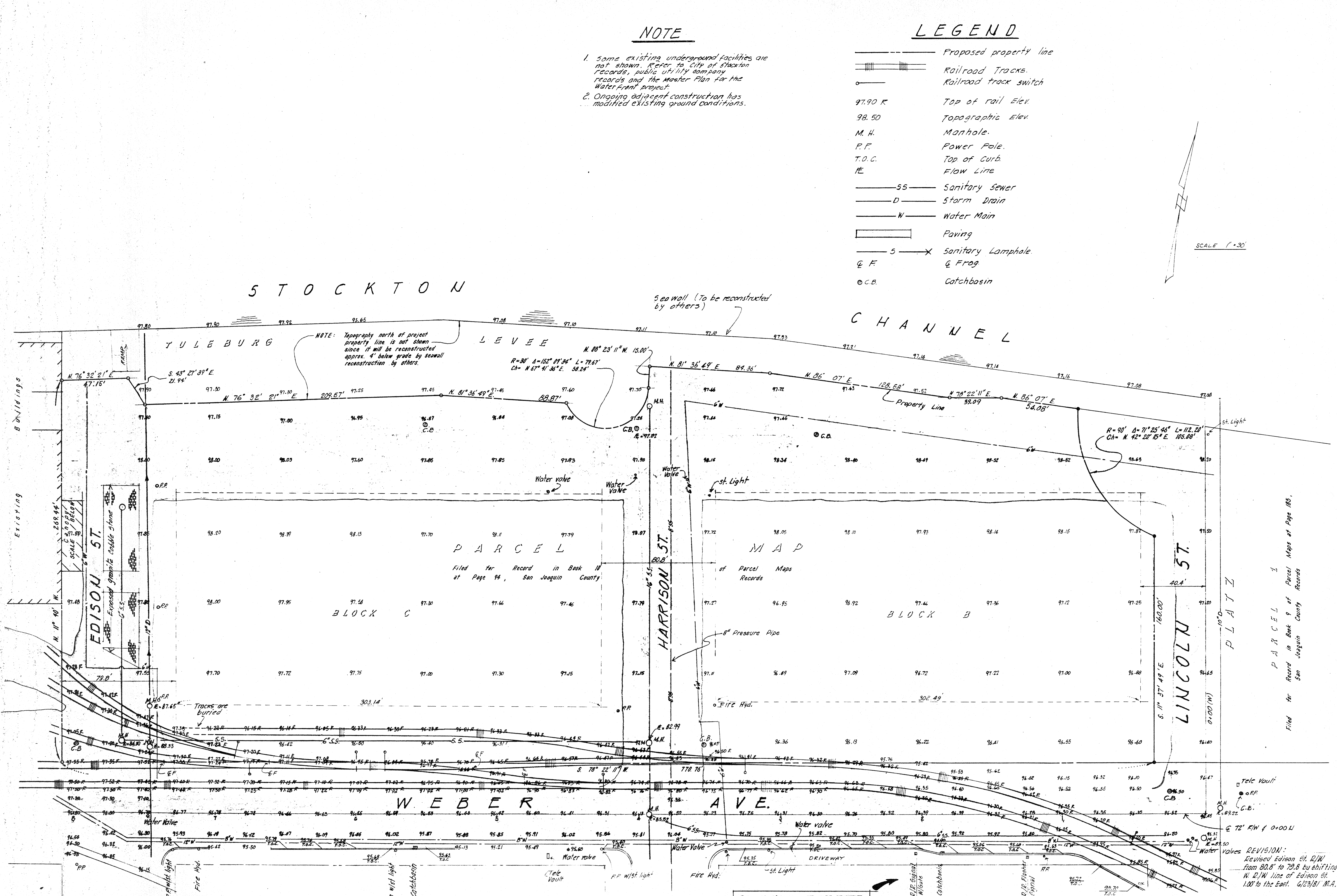
THE WATERFRONT OFFICE TOWERS
 stockton downtown redevelopment
 weber avenue & lincoln street
 stockton, california

SCHMITZ
 DEVELOPMENT
 COMMUNITY DEVELOPERS
 STOCKTON, CALIFORNIA

Lawrence Cook
 Architect
 AIA
 408 353-1500
 20091 Old Santa Cruz Highway
 Los Gatos California 95030



X-1
 PAGE 2 OF 16 PAGES
 6-2561 A



BENCH MARK: Elev 95.64 checked T.O.V.C. on southwest rd. Cor. Lincoln St. & Weber Ave.

R.W. SIEGFRIED & ASSOCIATES
 4045 CORONADO AVENUE
 STOCKTON CALIFORNIA 95204
 (209) 943-2021

JOB NO.	9413-42
DATE	
F.B. NO.	494-E-051
DRAWN	L.L.M.
DESIGN	
CHECKED	L.A.C.

TOPOGRAPHIC MAP

REVISION:
 Revised Edison St. R/W from 80.8' to 79.8' by shifting W. R/W line of Edison St. 1.00' to the East. 6/23/81 M.A.

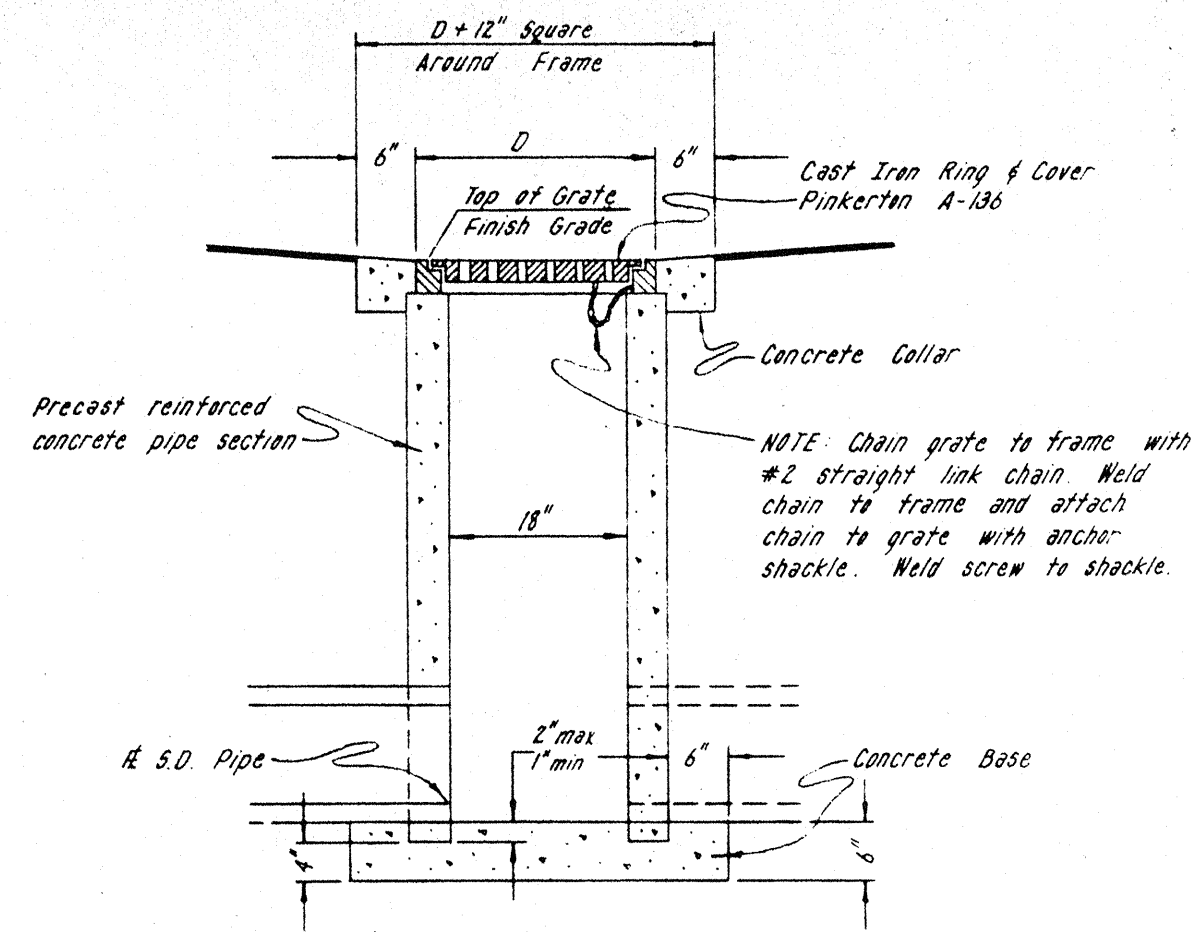
LEGEND

- 12" S.D. Storm Drain Pipe
- Existing Fire Hydrant
- Existing Street Light
- C.B. Catchbasin and S.D. Pipe
- 98.32 S.W. Sidewalk Elevation
- 98.20 T.C. / 97.50 P. Top of Curb Elevation / Finish Paving Elevation
- 97.80 T.O.G. Top of Grate Elevation
- 94.13 T.S. Top of Slab Elevation
- 98.34 T.R.W. Top of Retaining Wall Elevation
- 98.40 B.W. Back of Sidewalk Elevation
- 3.47% Drainage Slope
- 98.36 F.F. Finish Floor Elevation
- Paving
- 10 Column Line Number
- ELEV. 102.61 Contour Elev. on Column Line
- Edge of Arcade
- Building Wall Outline

NOTES

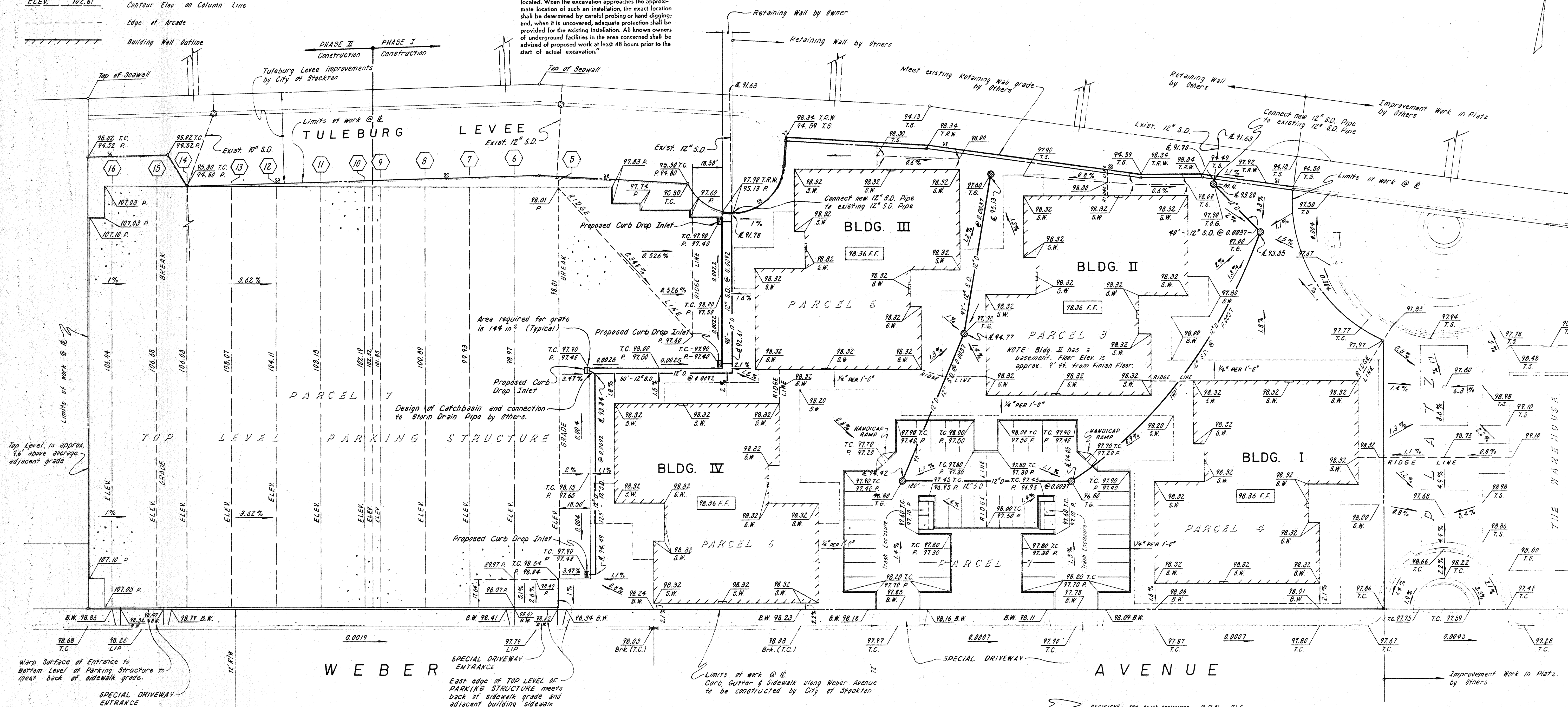
1. Elevations are referred to City of Stockton Datum.
2. Elevations shown are to finish grade elevation. Cut and fill staking notes will be to finish grade. Contractor shall verify from owner the structural section to determine grade to subgrade.
3. Storm drain pipe shall be class 2, non-reinforced concrete pipe or class III A.C.P.
4. All improvements shall be constructed in strict accordance with City of Stockton Standard Specifications and Plans, 1981 Edition, and all amendments thereto to-date.
5. Existing utilities are shown as they are believed to exist. The owner and the Engineer do not accept responsibility for their accuracy. Prior to commencing any work, the Contractor shall have each utility company accurately locate in the field, their mains and service lines. It shall be the Contractor's sole responsibility to protect all existing utilities so that no damage results to them during the performance of his contract.
6. The Contractor shall be responsible for protecting from damage all existing improvements that are to remain. Such improvements that are damaged by the Contractor, shall be replaced at his expense.
7. Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this Project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the Contractor shall defend, indemnify and hold the Owner and the Engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this Project, excepting for liability arising from the sole negligence of the Owner or the Engineer.

8. We call your attention to:
 Section 1540 (b) (1) of the Construction Safety Orders (Title 8 California Administration Code Section 1540), issued by the Occupational Safety and Health Standards Board pursuant to the California Occupational Safety and Health Act of 1973 as amended which states:
 (1) "Prior to opening an excavation, effort shall be made to determine whether underground installations, i.e., sewer, water, fuel, electric lines, etc. will be encountered and, if so, where such underground installations are located. When the excavation approaches the approximate location of such an installation, the exact location shall be determined by careful probing or hand digging; and, when it is uncovered, adequate protection shall be provided for the existing installation. All known owners of underground facilities in the area concerned shall be advised of proposed work at least 48 hours prior to the start of actual excavation."



CATCHBASIN DETAIL
NO SCALE

SCALE: 1"=30'



BENCH MARK: ELEV. 93.64
 CHISELED "D" I.O.V.C. ON SOUTHWEST
 END. COR. LINCOLN ST. AND WEBER AVE

R.W. SIEGFRIED & ASSOCIATES
 4045 CORONADO AVENUE
 STOCKTON, CALIFORNIA 95204
 (209) 943-2021

JOB NO. 3413-92
 DATE Aug 1981
 F.B. NO. 454 & 481
 DRAWN R.L.S.
 DESIGN I.R.
 CHECKED I.R.

MASTER
**GRADING
 PLAN**

X-2

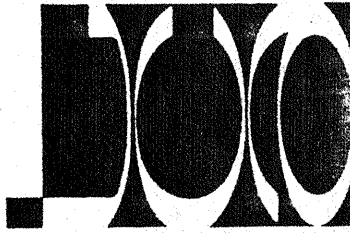
PAGE 3 OF 96 PAGES

6-2561 B

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 DATE 15 October 1981
THE WATERFRONT OFFICE TOWERS
stockton downtown redevelopment
weber avenue & lincoln street
stockton, california

SCHMITZ
 DEVELOPMENT, INC.
 1000 N. G STREET
 STOCKTON, CALIFORNIA 95210

Lawrence Cook
 Architect
 AIA
 20091 Old Santa Cruz Highway
 Los Gatos, California 95030



LEGEND

- 12'50" Storm Drain Pipe
- Existing Fire Hydrant
- Existing Street Light
- CS Catchbasin and S.D. Pipe
- 98.32 SW Sidewalk Elevation
- 98.98 TC / 97.50 P Top of Curb Elevation / Finish Paving Elevation
- 97.81 Top of Grate Elevation
- 98.18 Top of Sub Elevation
- 98.34 TRW Top of Retaining Wall Elevation
- 98.41 SW Back of Sidewalk Elevation
- Curb, Gutter, and Sidewalk
- 3.47% Drainage Slope
- 98.36 FF Finish Floor Elevation
- Paving
- 10 Column Line Number
- ELEV. 102.61 Contour Elevation on Column Line
- Edge of Arcade
- Building Wall Outline
- 98.75 R Top of Rail Elevation

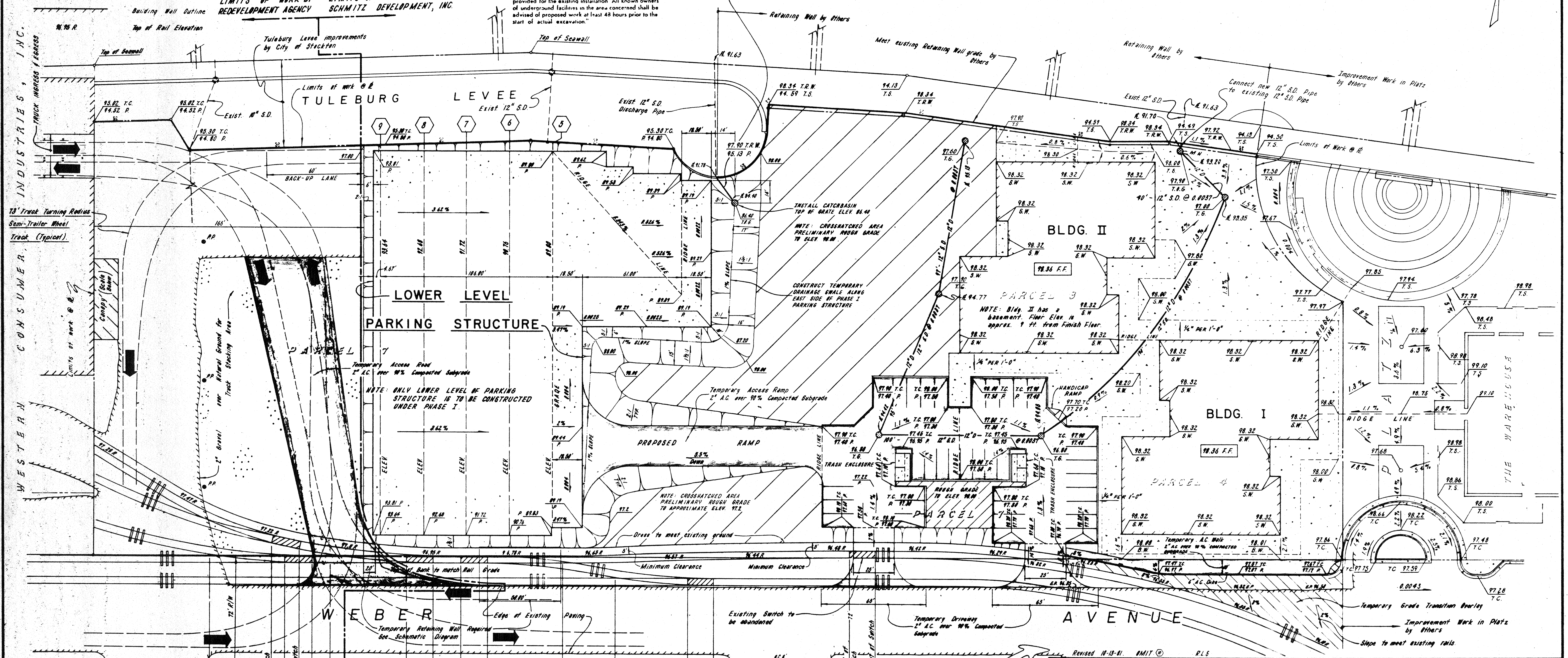
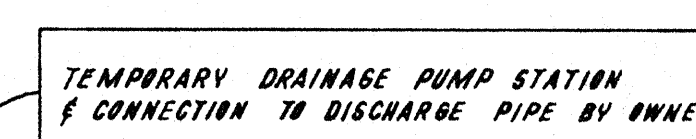
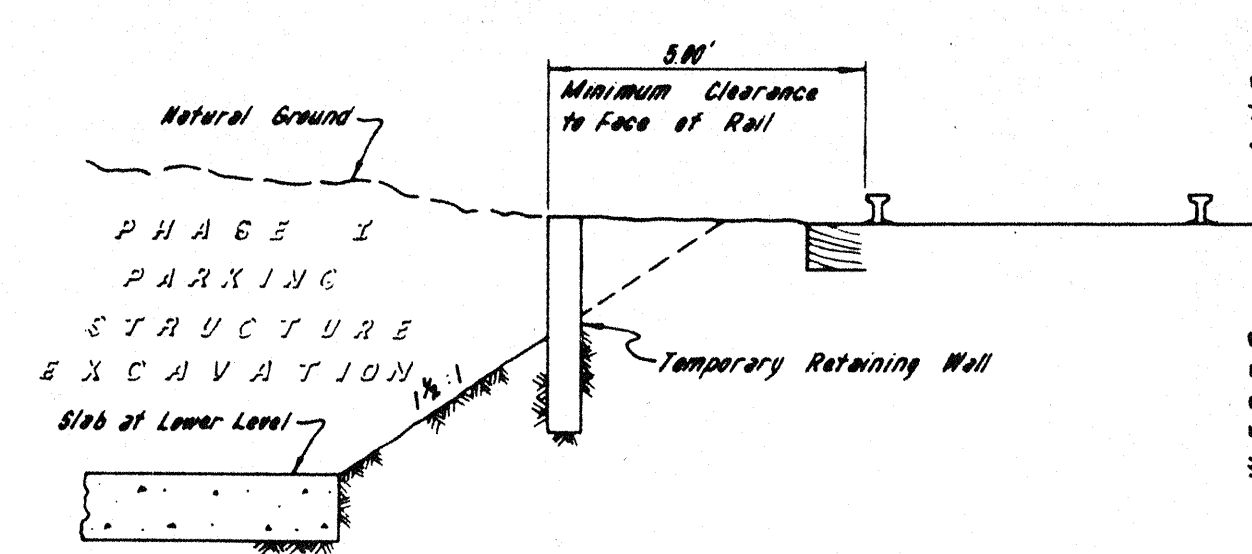
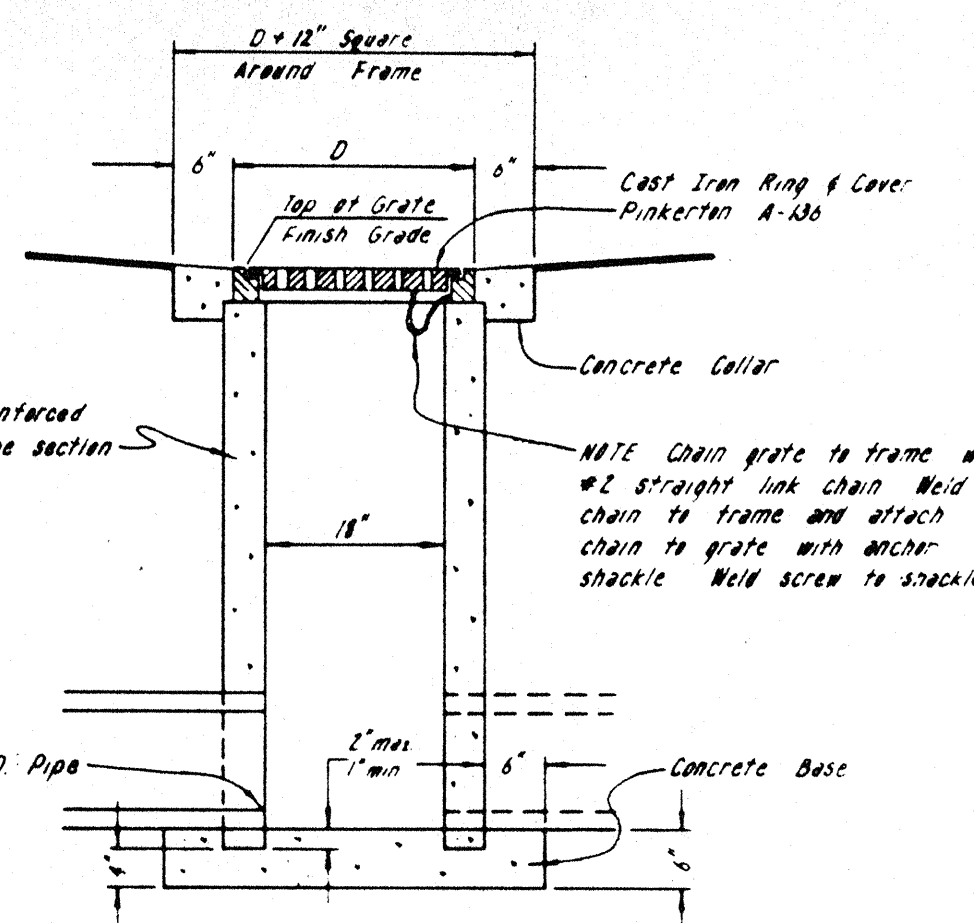
LIMITS OF WORK BY REDEVELOPMENT AGENCY
LIMITS OF WORK BY SCHMITZ DEVELOPMENT, INC.

NOTES

- 1 Elevations are referred to C.T. or Station Datum.
- 2 Elevations shown are to finish grade elevation. Cut and fill striking notes will be to finish grade. Contractor shall verify from other structural section to determine grade to subgrade.
- 3 Storm drain pipe shall be class 2, non-reinforced concrete pipe or class III ACP.
- 4 All improvements shall be constructed in strict accordance with City of Stockton Standard Specifications and Plans, 1981 Edition, and all amendments thereto in-date.
- 5 Existing utilities are shown as they are believed to exist. The owner and the Engineer do not accept responsibility for their accuracy. Prior to commencing any work, the Contractor shall have each utility company accurately locate in the field, their mains and service lines. It shall be the Contractor's sole responsibility to protect all existing utilities so that no damage results to them during the performance of his contract.
- 6 The Contractor shall be responsible for protecting from damage all existing improvements that are to remain. Such improvements that are damaged by the Contractor, shall be replaced at his expense.
- 7 Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this Project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the Contractor shall defend, indemnify and hold the Owner and the Engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this Project, excepting for liability arising from the sole negligence of the Owner or the Engineer.

We call your attention to Section 1540 (a) (1) of the Construction Safety Orders (Title 8 California Administration Code Section 1540), issued by the Occupational Safety and Health Standards Board pursuant to the California Occupational Safety and Health Act of 1973 as amended which states:

(1) "Prior to opening an excavation, effort shall be made to determine whether underground installations, i.e., sewer, water, fuel, electric lines, etc. will be encountered and, if so, where such underground installations are located. When the excavation approaches the approximate location of such an installation, the exact location shall be determined by careful probing or hand digging; and, when it is uncovered, adequate protection shall be provided for the existing installation. All known owners of underground facilities in the area concerned shall be advised of proposed work at least 48 hours prior to the start of actual excavation."



R.W. SIEGFRIED & ASSOCIATES
4045 CORONADO AVENUE
STOCKTON, CALIFORNIA 95204
(209) 943-2021

REVISED PHASE I
GRADING PLAN

JOB NO. 143-41
DATE: OCT 1981
P.L. NO. 454 (48)
DRAWN: RLS
DESIGN: J.R.
CHECKED: J.R.

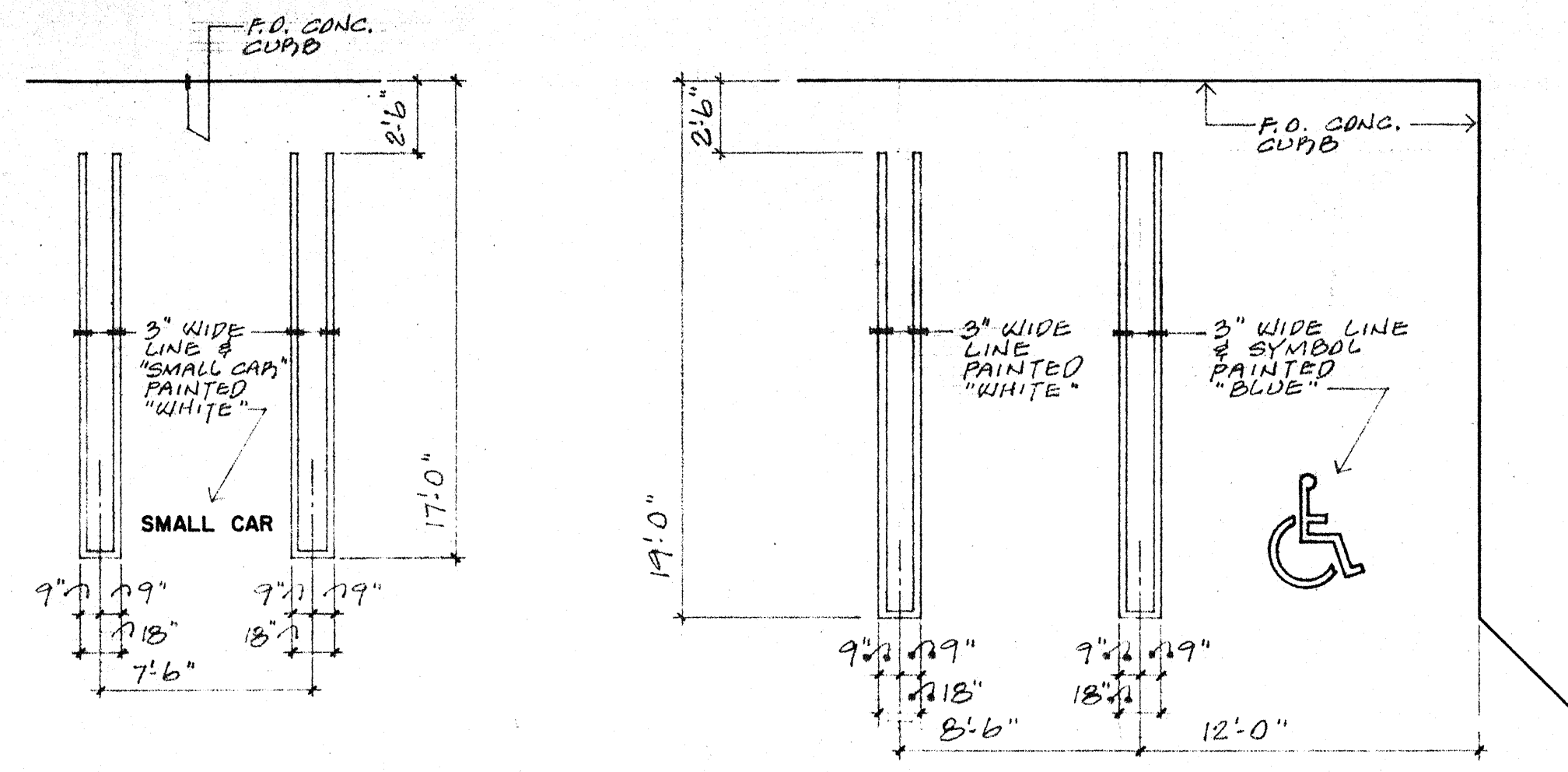
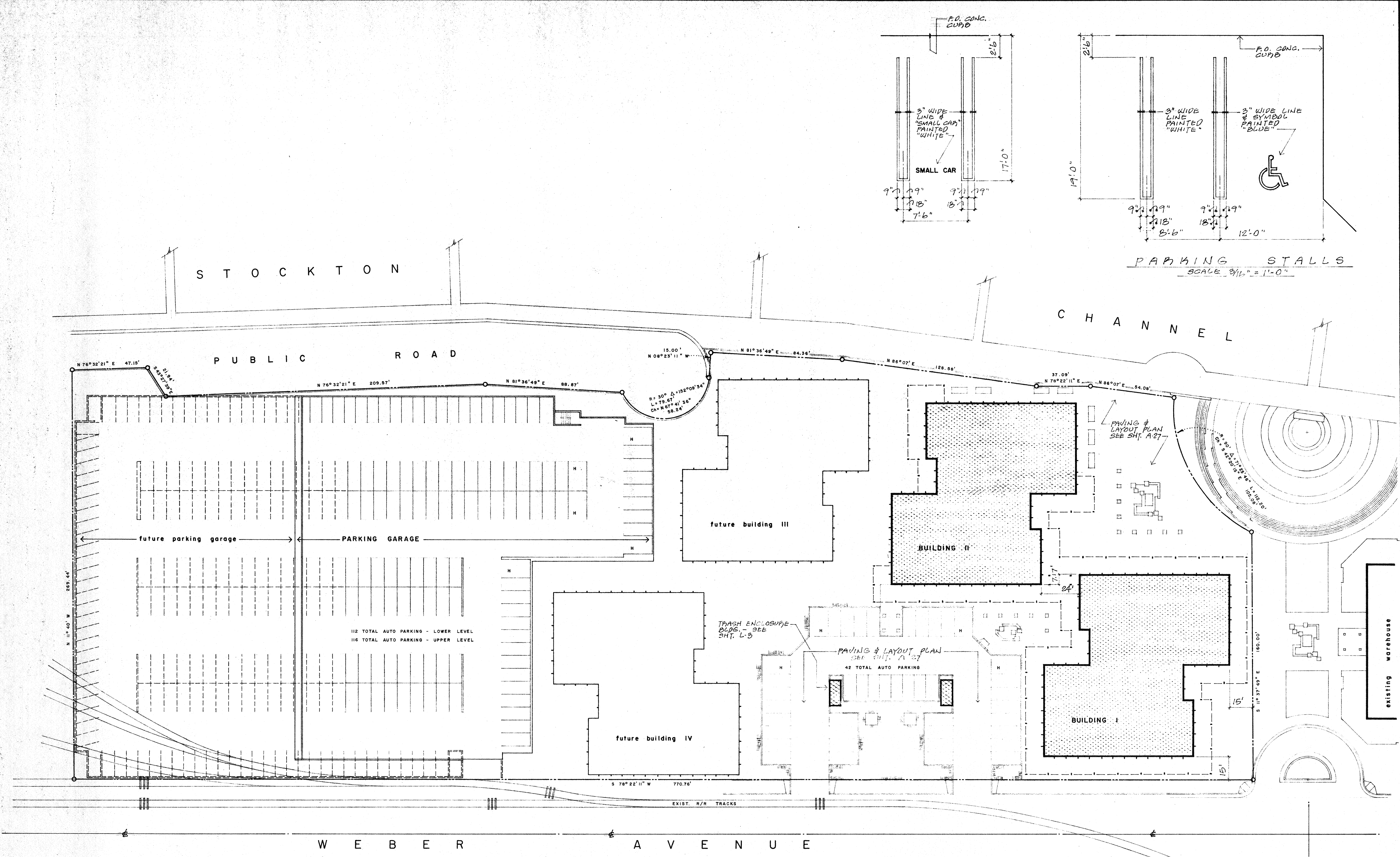
THE WATERFRONT OFFICE TOWERS
 stockton downtown redevelopment
 weber avenue & lincoln street
 stockton, california

SCHMITZ DEVELOPMENT, INC.
 CONSULTING ENGINEERS
 STOCKTON, CALIFORNIA

Lawrence Cook
 Architect
 AIA 408 353-1500
 20091 Old Santa Cruz Highway
 Los Gatos California 95030

DATE: 15 OCTOBER 1981

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 6-2561 E



PARKING STALLS
SCALE 3/16" = 1'-0"

ASSUMED TRUE

SITE PLAN
SCALE 1" = 30'-0"

- NOTE
1. THE TWO LEVEL PARKING GARAGE SHALL BE PUBLISHED UNDER A SEPARATE SET OF CONTRACT DOCUMENTS.
 2. SEE SHT. A-27, FOP SITE & PARKING PAVING & LAYOUT PLAN.

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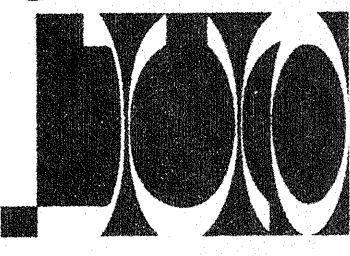
DATE 15 OCTOBER 1981

JAN 7 1982

THE WATERFRONT OFFICE TOWERS
stockton downtown redevelopment
weber avenue & lincoln street
stockton, california

SCHMITZ
DEVELOPMENT, INC.
200 S. MARKET STREET
STOCKTON, CALIF. 95201

Lawrence J. Cook
Lawrence Cook
Architect
AIA 408 353-1500
20091 Old Santa Cruz Highway
Los Gatos California 95030



ROOM FINISH SCHEDULE

FIRST FLOOR PLAN								
NO.	ROOM TITLE	FLOOR	BASE	WALL	CEILING	HEIGHT	REMARKS	ACCESSORIES
100A-100B	STAIRWAY	CONC.	NONE	CONC.	CONC.	VARIES		
101A-101B	CORRIDOR	CONC.	RTSB (1)	5/8"GBT (2)	AC. TILE	10'-0"	(1&2)	
102	SUITE 1A	CONC.	NONE	5/8"GB (3&4)	AC. TILE	10'-0"	(3&4)	
103	SUITE 1B	CONC.	NONE	5/8"GB (3&4)	AC. TILE	10'-0"	(3&4)	
104	SUITE 1C	CONC.	NONE	5/8"GB (3&4)	AC. TILE	10'-0"	(3&4)	
105	SUITE 1D	CONC.	NONE	5/8"GB (3&4)	AC. TILE	10'-0"	(3&4)	
106	MAIN LOBBY	PAT. CONC.	RTSB	5/8"GB (5)	AC. TILE	10'-0"	(5)	
107	ELEVATOR SHAFT	CONC.	NONE	CONC.		75'+		
108	MEN	C. TILE	C. TILE	5/8"GB (6&7)	AC. TILE	8'-0"	(6&7)	1-b,c,d,f,h,k,m,2-e
109	WOMEN	C. TILE	C. TILE	5/8"GB (6&7)	AC. TILE	8'-0"	(6&7)	1-b,c,d,f,g,j,m,2-e,k
110	VESTIBULE	C. TILE	C. TILE	5/8"GB (5)	AC. TILE	8'-0"	(5)	
111	VESTIBULE	C. TILE	C. TILE	5/8"GB (5)	AC. TILE	8'-0"	(5)	
112	STORAGE	CONC.	RTSB	5/8"GB (8&9)	CONC.	13'-3"+	(8&9)	
113	ELEC. EQUIPMENT	CONC.	RTSB	5/8"GB (8&10)	CONC.	13'-3"+	(8&10)	

SECOND FLOOR PLAN								
NO.	ROOM TITLE	FLOOR	BASE	WALL	CEILING	HEIGHT	REMARKS	ACCESSORIES
200A-200B	STAIRWAY	CONC.	NONE	CONC.	CONC.	VARIES		
201	CORRIDOR	CARPET	CARPET	5/8"GB (11)	AC. TILE	9'-0"	(11)	
202	SUITE 2A	CARPET	CARPET	5/8"GB (3&4)	AC. TILE	9'-0"	(3&4)	1-n
203	SUITE 2B	CARPET	CARPET	5/8"GB (3&4)	AC. TILE	9'-0"	(3&4)	1-n
204	MEN	C. TILE	C. TILE	5/8"GB (6&7)	AC. TILE	8'-0"	(6&7)	1-a,c,d,f,h,m,2-k,3-e
205	WOMEN	C. TILE	C. TILE	5/8"GB (6&7)	AC. TILE	8'-0"	(6&7)	1-a,c,d,f,g,j,m,3-e,k
206	STORAGE	VYL. ASB.	RTSB	5/8"GBT	AC. TILE	8'-0"		
207	ELEC. EQUIPMENT	CONC.	RTSB	5/8"GB (8&12)	CONC.	12'-3"+	(8&12)	
208	LOBBY	CARPET	CARPET	5/8"GB (11)	AC. TILE	9'-0"	(11)	

THIRD FLOOR PLAN								
NO.	ROOM TITLE	FLOOR	BASE	WALL	CEILING	HEIGHT	REMARKS	ACCESSORIES
300A-300B	STAIRWAY	CONC.	NONE	CONC.	CONC.	VARIES		
301	LOBBY	CARPET	CARPET	5/8"GB (11)	AC. TILE	9'-0"	(11)	
302	SUITE 3A	CARPET	CARPET	5/8"GB (3&4)	AC. TILE	9'-0"	(3&4)	1-n
303	MEN	C. TILE	C. TILE	5/8"GB (6&7)	AC. TILE	8'-0"	(6&7)	1-a,c,d,f,h,m,2-k,3-e
304	WOMEN	C. TILE	C. TILE	5/8"GB (6&7)	AC. TILE	8'-0"	(6&7)	1-a,c,d,f,g,j,m,3-e,k
305	ELEC. EQUIPMENT	CONC.	RTSB	5/8"GB (8&12)	CONC.	12'-3"+	(8&12)	

FOURTH FLOOR PLAN								
NO.	ROOM TITLE	FLOOR	BASE	WALL	CEILING	HEIGHT	REMARKS	ACCESSORIES
400A-400B	STAIRWAY	CONC.	NONE	CONC.	CONC.	VARIES		
401	LOBBY	CARPET	CARPET	5/8"GB (11)	AC. TILE	9'-0"	(11)	
402	SUITE 4A	CARPET	CARPET	5/8"GB (3&4)	AC. TILE	9'-0"	(3&4)	1-n
403	MEN	C. TILE	C. TILE	5/8"GB (6&7)	AC. TILE	8'-0"	(6&7)	1-a,c,d,f,h,m,2-k,3-e
404	WOMEN	C. TILE	C. TILE	5/8"GB (6&7)	AC. TILE	8'-0"	(6&7)	1-a,c,d,f,g,j,m,3-e,k
405	ELEC. EQUIPMENT	CONC.	RTSB	5/8"GB (8&12)	CONC.	12'-3"+	(8&12)	

FIFTH FLOOR PLAN								
NO.	ROOM TITLE	FLOOR	BASE	WALL	CEILING	HEIGHT	REMARKS	ACCESSORIES
500A-500B	STAIRWAY	CONC.	NONE	CONC.	CONC.	VARIES		
501	LOBBY	CARPET	CARPET	5/8"GB (11)	AC. TILE	9'-0"	(11)	
502	SUITE 5A	CARPET	CARPET	5/8"GB (3&4)	AC. TILE	9'-0"	(3&4)	1-n
503	MEN	C. TILE	C. TILE	5/8"GB (6&7)	AC. TILE	8'-0"	(6&7)	1-a,c,d,f,h,m,2-k,3-e
504	WOMEN	C. TILE	C. TILE	5/8"GB (6&7)	AC. TILE	8'-0"	(6&7)	1-a,c,d,f,g,j,m,3-e,k
505	ELEC. EQUIPMENT	CONC.	RTSB	5/8"GB (8&12)	CONC.	12'-3"+	(8&12)	

ROOF PLAN								
NO.	ROOM TITLE	FLOOR	BASE	WALL	CEILING	HEIGHT	REMARKS	ACCESSORIES
600A	STAIRWAY	CONC.	NONE	CONC.	CONC.	VARIES		
601	MACHINE ROOM	CONC.	NONE	5/8"GB (8)	5/8"GB (8)	9'-4"+	(8)	
602	MECHANICAL ROOM	CONC.	NONE	5/8"GB (8)	5/8"GB (8)	9'-4"+	(8)	

REMARKS (see room finish schedule)

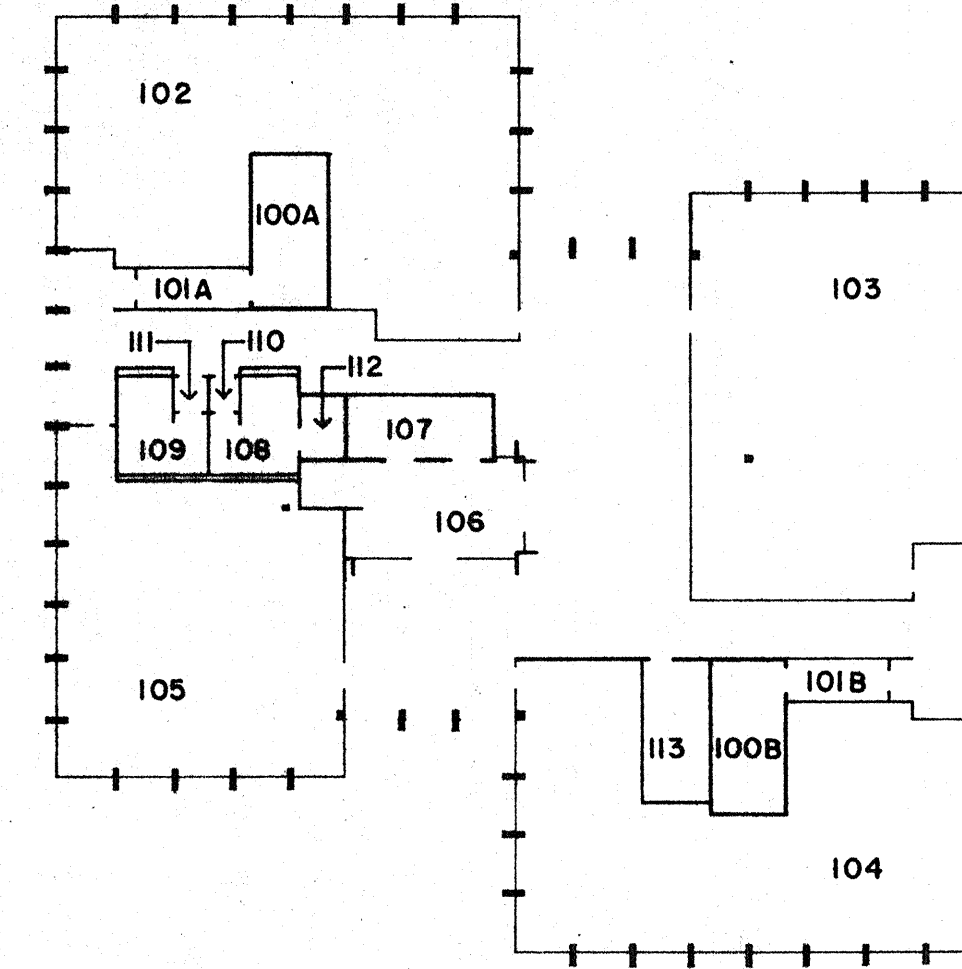
- PROVIDE RTSB AT ALL 5/8" GBT WALLS ONLY.
- SOUTH WALL IS CONCRETE. PROVIDE 2 LAYERS OF 5/8" GBT AT ALL TWO HOUR FIREWALLS.
- ALL 5/8" GYPSUM BOARD TO BE TAPED AND PROVIDED WITH A SANDED SMOOTH FINISH (FINAL FINISH TO BE INSTALLED BY TENANT-N.I.C.).
- ALL CONCRETE WALLS, COMMON WITH SUITE, SHALL REMAIN EXPOSED. ALL CONCRETE COLUMNS SHALL RECEIVE 1 LAYER OF 5/8" GYPSUM BOARD TO BE TAPED AND PROVIDED WITH A SANDED SMOOTH FINISH (FINAL FINISH TO BE INSTALLED BY TENANT-N.I.C.).
- PROVIDE VINYL WALL COVERING OVER 1 LAYER OF 5/8" GYPSUM BOARD.
- PROVIDE VINYL WALL COVERING OVER 1 LAYER OF 5/8" WATER-RESISTANT GYPSUM BOARD.
- PROVIDE C. TILE WAINSCOT, 4'-0" HIGH, ON ALL WALLS OVER 1 LAYER OF 5/8" WATER-RESISTANT GYPSUM BOARD.
- GYPSUM BOARD TO BE TAPED BUT NOT TEXTURED.
- EAST, WEST & SOUTH WALLS ARE CONCRETE.
- EAST & SOUTH WALLS ARE CONCRETE.
- PROVIDE VINYL WALL COVERING OVER 1 LAYER OF 5/8" GYPSUM BOARD INCLUDING CONCRETE WALLS.
- SOUTH & EAST WALLS ARE CONCRETE.

ACCESSORIES (see room finish schedule)

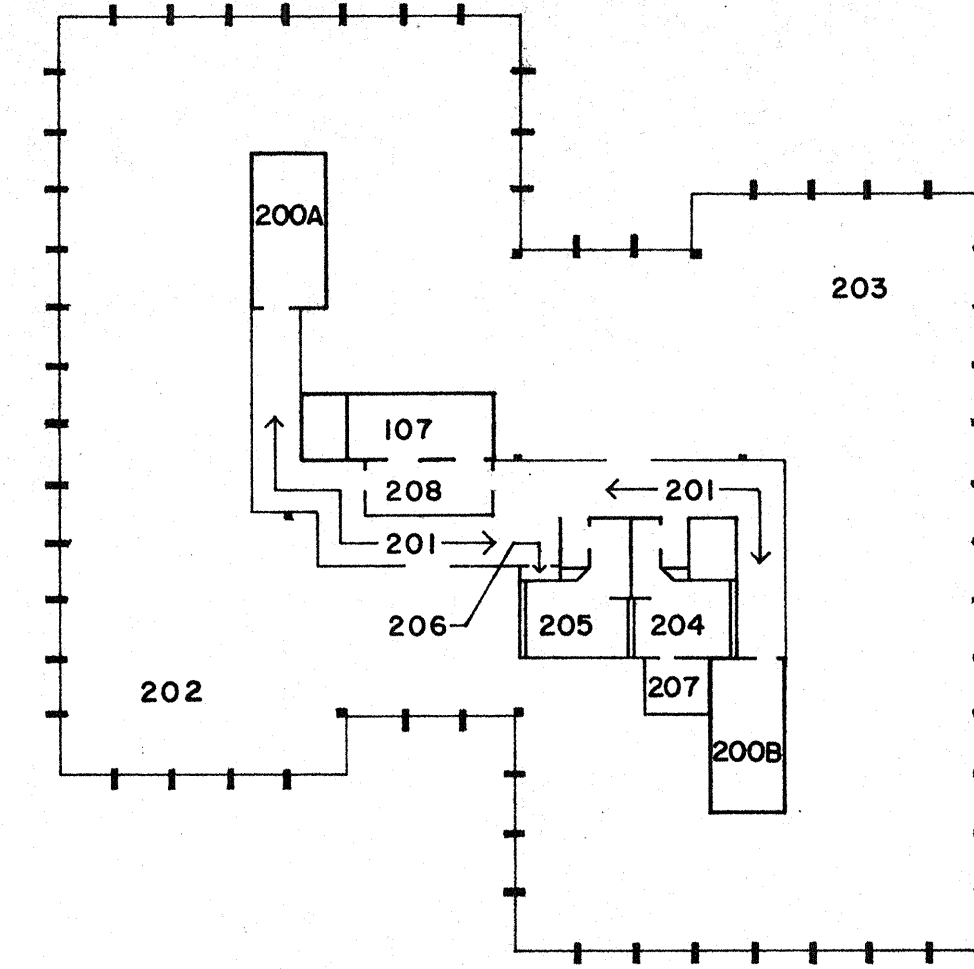
- 84" x 36" MIRROR WITH POLISHED EDGES.
- 72" x 36" MIRROR WITH POLISHED EDGES.
- 30" STRAIGHT GRAB BAR.
- 42" STRAIGHT GRAB BAR.
- LATHERSHELF-ASHTRAY.
- TOWEL DISPENSER & WASTE RECEPTACLE.
- SENIORITY MAPKIN & TAMPON DISPENSER.
- TOILET PAPER DISPENSERS (MEN).
- TOILET PAPER & NAPKIN DISPOSAL DISPENSER (WOMEN).
- TOILET SEAT COVER DISPENSER.
- CEILING HUNG TOILET PARTITIONS AS REQUIRED.
- WINDOW DRAPERY & TRACK AS REQUIRED.

ABBREVIATIONS (see room finish schedule)

- AC. TILE - ACOUSTICAL TILE
- C. TILE - CERAMIC TILE
- CONC. - CONCRETE
- GB - GYPSUM BOARD UNFINISHED
- GBT - GYPSUM BOARD TEXTURED
- PAT. CONC. - PATTERN CONCRETE
- RTSB - RUBBER TOP SET BASE
- VYL. ASB. - VINYL ASBESTOS TILE

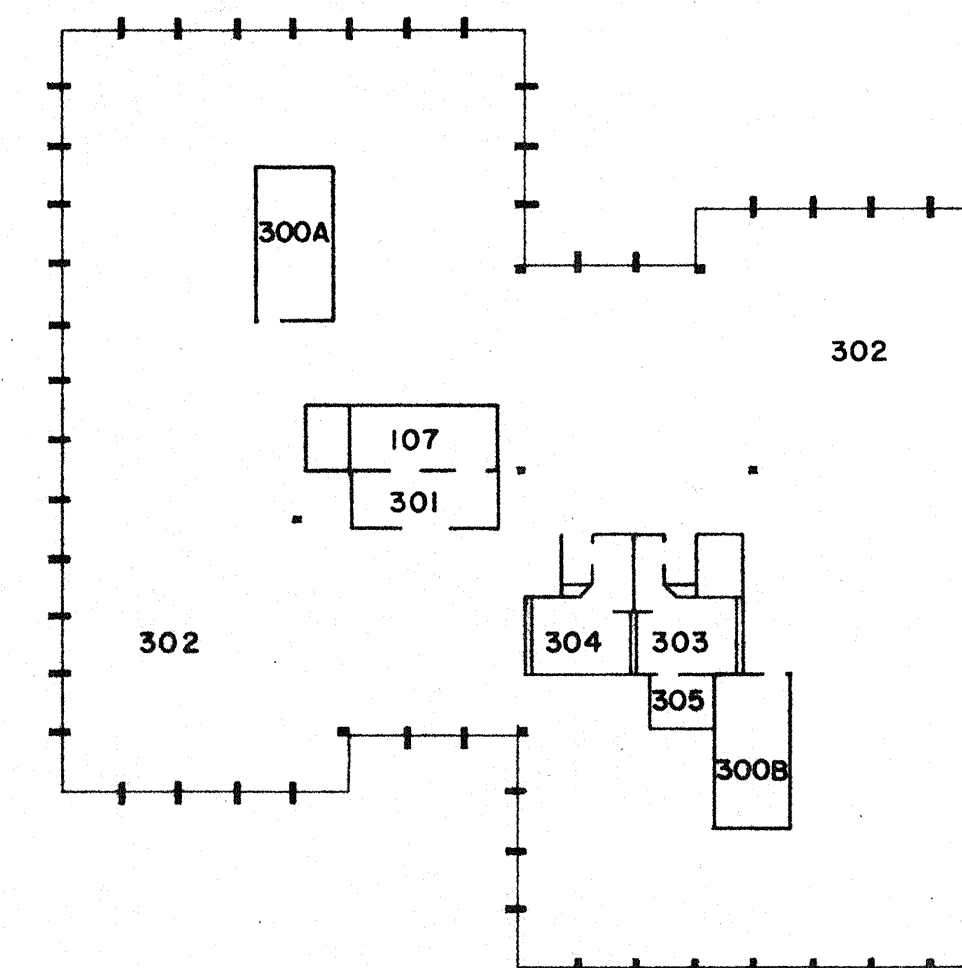


KEY FIRST FLOOR PLAN
SCALE 1" = 25'0"

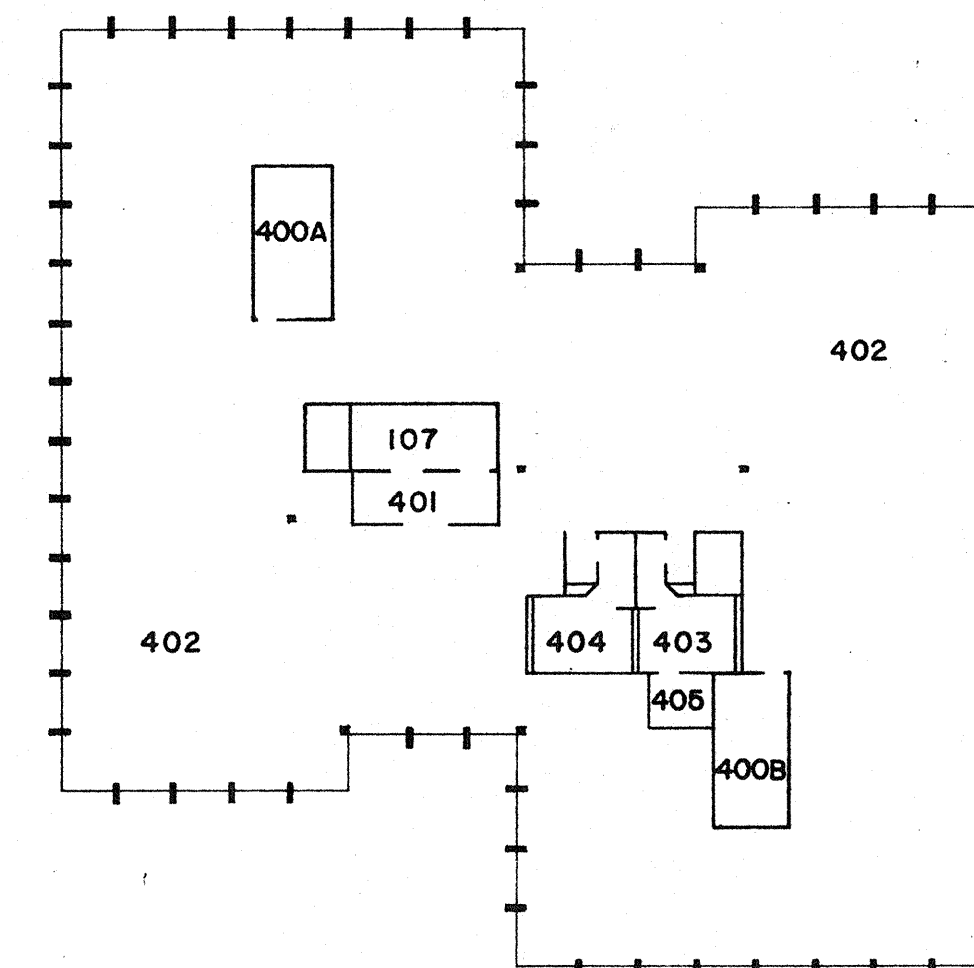


KEY SECOND FLOOR PLAN
SCALE 1" = 25'0"

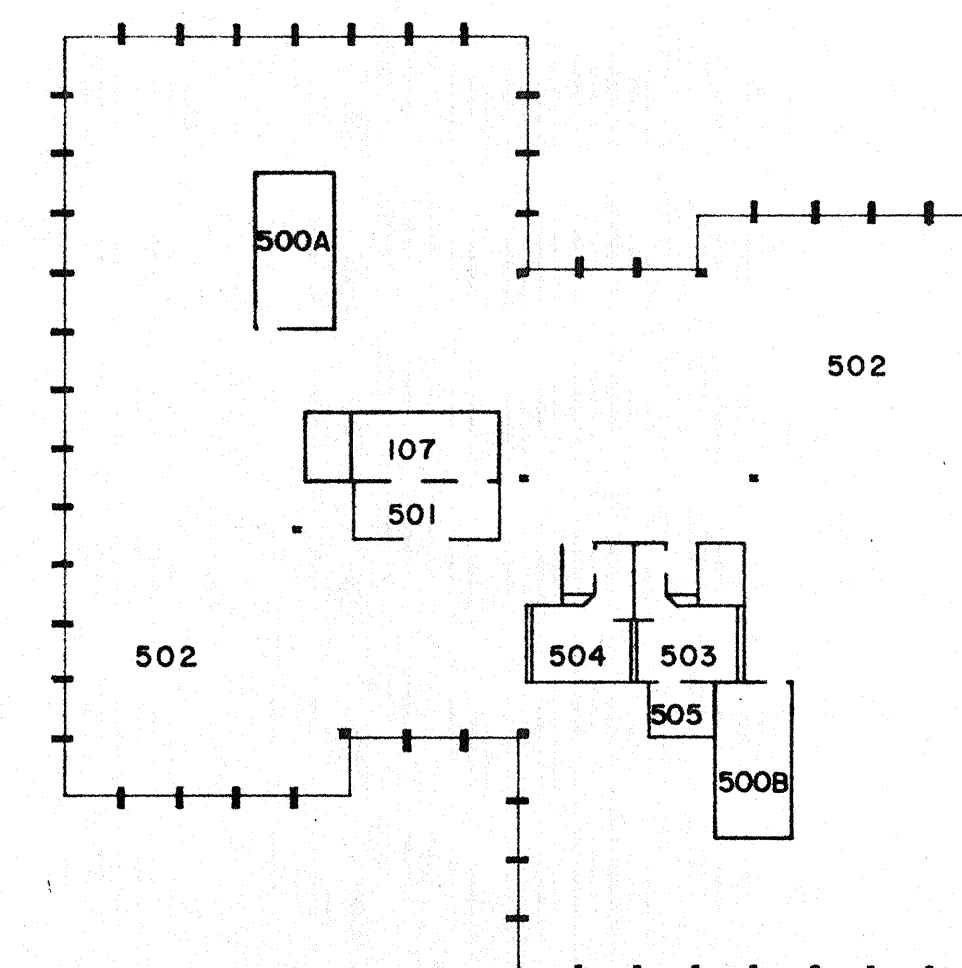
BUILDING I



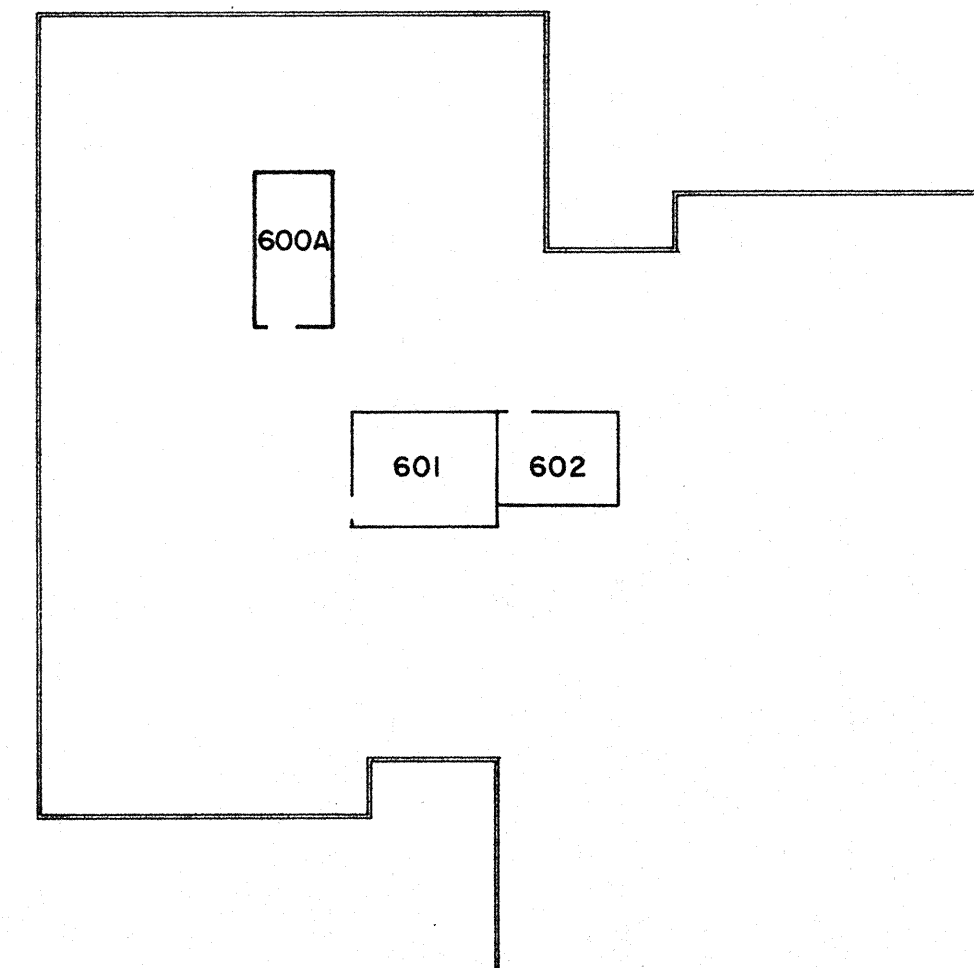
KEY THIRD FLOOR PLAN
SCALE 1" = 25'0"



KEY FOURTH FLOOR PLAN
SCALE 1" = 25'0"



KEY FIFTH FLOOR PLAN
SCALE 1" = 25'0"



ROOF PLAN
SCALE 1" = 25'0"

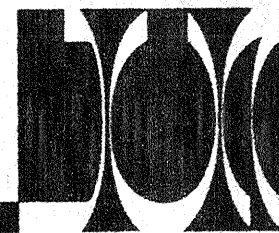
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stockton downtown redevelopment
weber avenue & lincoln street
stockton, california

SCHMITZ DEVELOPMENT, INC.
COMMUNITY DEVELOPERS
STOCKTON, CALIF. 95207

Lawrence Cook
Architect
AIA
408 353-1500
20091 Old Santa Cruz Highway
Los Gatos California 95030



ROOM FINISH SCHEDULE

BASEMENT PLAN								
NO.	ROOM TITLE	FLOOR	BASE	WALL	CEILING	HEIGHT	REMARKS	ACCESSORIES
000A-000B	STAIRWAY	CONC.	NONE	CONC.	CONC.	VARIES		
001	DEAD STORAGE	CONC.	NONE	CONC. (1)	CONC.	8'-0"	(1 & 13)	
002	ELEVATOR SHAFT	CONC.	NONE	CONC.	CONC.	8'-0"		
003	ELEC. EQUIPMENT	CONC.	RTSB	5/8"GB (8&10)	CONC.	8'-0"	(8&10)	
004	CORRIDOR	CONC.	RTSB	5/8"GBT	CONC.	8'-0"		
005	LOBBY	CONC.	RTSB	5/8"GBT	CONC.	8'-0"		

FIRST FLOOR PLAN								
NO.	ROOM TITLE	FLOOR	BASE	WALL	CEILING	HEIGHT	REMARKS	ACCESSORIES
100A-100B	STAIRWAY	CONC.	NONE	CONC.	CONC.	VARIES		
101A-101B	CORRIDOR	CONC.	RTSB	5/8"GBT (2)	AC. TILE	10'-0"	(2)	
102	SUITE 1A	CONC.	NONE	5/8"GB (3&4)	AC. TILE	10'-0"	(3&4)	
103	SUITE 1B	CONC.	NONE	5/8"GB (3&4)	AC. TILE	10'-0"	(3&4)	
104	SUITE 1C	CONC.	NONE	5/8"GB (3&4)	AC. TILE	10'-0"	(3&4)	
105	SUITE 1D	CONC.	NONE	5/8"GB (3&4)	AC. TILE	10'-0"	(3&4)	
106	MAIN LOBBY	PAT. CONC.	RTSB	5/8"GB (5)	AC. TILE	10'-0"	(5)	
107	MEN	C. TILE	C. TILE	5/8"GB (6&7)	AC. TILE	8'-0"	(6&7)	1-b,c,d,f,h,k,m,2-e
108	WOMEN	C. TILE	C. TILE	5/8"GB (6&7)	AC. TILE	8'-0"	(6&7)	1-b,c,d,f,g,j,m,2-e,k
109	VESTIBULE	C. TILE	C. TILE	5/8"GB (5)	AC. TILE	8'-0"	(5)	
110	VESTIBULE	C. TILE	C. TILE	5/8"GB (5)	AC. TILE	8'-0"	(5)	

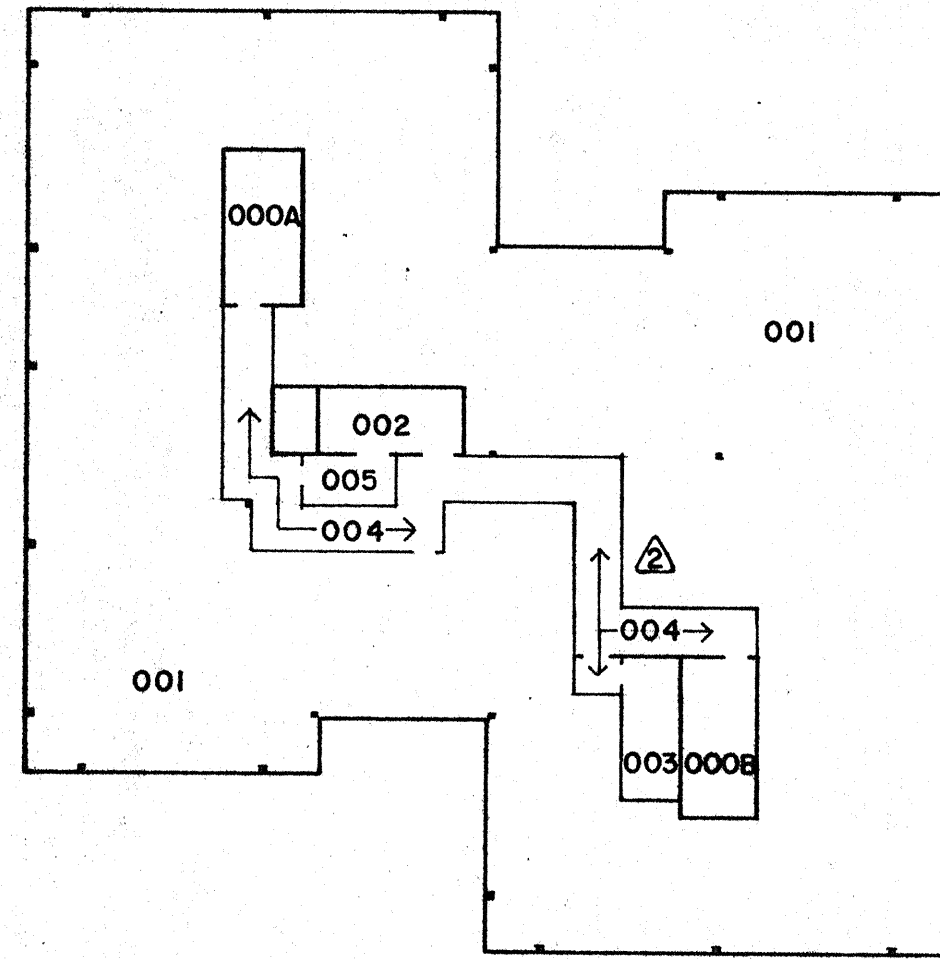
SECOND FLOOR PLAN								
NO.	ROOM TITLE	FLOOR	BASE	WALL	CEILING	HEIGHT	REMARKS	ACCESSORIES
200A-200B	STAIRWAY	CONC.	NONE	CONC.	CONC.	VARIES		
201	CORRIDOR	CARPET	CARPET	5/8"GB (11)	AC. TILE	9'-0"	(11)	
202	SUITE 2A	CARPET	CARPET	5/8"GB (3&4)	AC. TILE	9'-0"	(3&4)	1-n
203	SUITE 2B	CARPET	CARPET	5/8"GB (3&4)	AC. TILE	9'-0"	(3&4)	1-n
204	MEN	C. TILE	C. TILE	5/8"GB (6&7)	AC. TILE	8'-0"	(6&7)	1-a,c,d,f,g,m,2-k,3-e
205	WOMEN	C. TILE	C. TILE	5/8"GB (6&7)	AC. TILE	8'-0"	(6&7)	1-a,c,d,f,g,j,m,3-e,k
206	STORAGE	VYL. ASB.	RTSB	5/8"GBT	AC. TILE	8'-0"		
207	ELEC. EQUIPMENT	CONC.	RTSB	5/8"GB (8&12)	CONC.	12'-3"±	(8&12)	
208	LOBBY	CARPET	CARPET	5/8"GB (11)	AC. TILE	9'-0"	(11)	

THIRD FLOOR PLAN								
NO.	ROOM TITLE	FLOOR	BASE	WALL	CEILING	HEIGHT	REMARKS	ACCESSORIES
300A-300B	STAIRWAY	CONC.	NONE	CONC.	CONC.	VARIES		
301	LOBBY	CARPET	CARPET	5/8"GB (11)	AC. TILE	9'-0"	(11)	
302	SUITE 3A	CARPET	CARPET	5/8"GB (3&4)	AC. TILE	9'-0"	(3&4)	1-n
303	MEN	C. TILE	C. TILE	5/8"GB (6&7)	AC. TILE	8'-0"	(6&7)	1-a,c,d,f,h,m,2-k,3-e
304	WOMEN	C. TILE	C. TILE	5/8"GB (6&7)	AC. TILE	8'-0"	(6&7)	1-a,c,d,f,g,j,m,3-e,k
305	ELEC. EQUIPMENT	CONC.	RTSB	5/8"GB (8&12)	CONC.	12'-3"±	(8&12)	

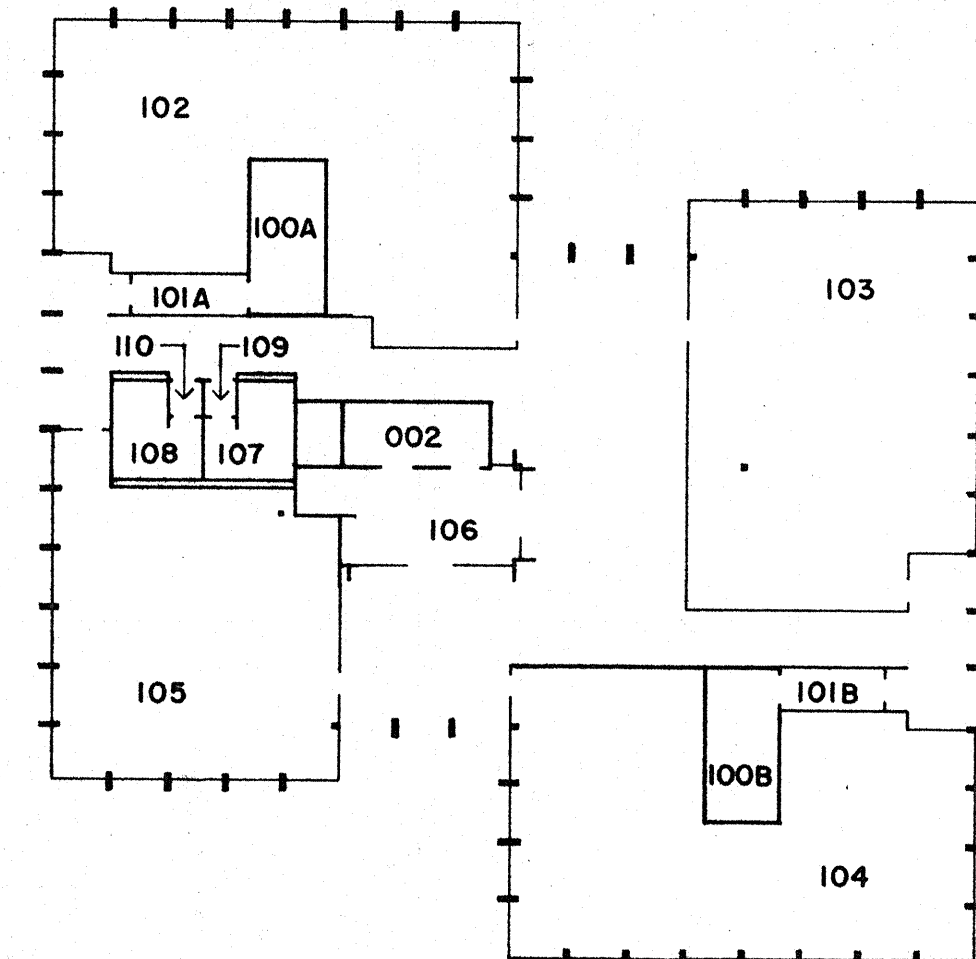
FOURTH FLOOR PLAN								
NO.	ROOM TITLE	FLOOR	BASE	WALL	CEILING	HEIGHT	REMARKS	ACCESSORIES
400A-400B	STAIRWAY	CONC.	NONE	CONC.	CONC.	VARIES		
401	LOBBY	CARPET	CARPET	5/8"GB (11)	AC. TILE	9'-0"	(11)	
402	SUITE 4A	CARPET	CARPET	5/8"GB (3&4)	AC. TILE	9'-0"	(3&4)	1-n
403	MEN	C. TILE	C. TILE	5/8"GB (6&7)	AC. TILE	8'-0"	(6&7)	1-a,c,d,f,h,m,2-k,3-e
404	WOMEN	C. TILE	C. TILE	5/8"GB (6&7)	AC. TILE	8'-0"	(6&7)	1-a,c,d,f,g,i,m,3-e,k
405	ELEC. EQUIPMENT	CONC.	RTSB	5/8"GB (8&12)	CONC.	12'-3"±	(8&12)	

FIFTH FLOOR PLAN								
NO.	ROOM TITLE	FLOOR	BASE	WALL	CEILING	HEIGHT	REMARKS	ACCESSORIES
500A-500B	STAIRWAY	CONC.	NONE	CONC.	CONC.	VARIES		
501	LOBBY	CARPET	CARPET	5/8"GB (11)	AC. TILE	9'-0"	(11)	
502	SUITE 5A	CARPET	CARPET	5/8"GB (3&4)	AC. TILE	9'-0"	(3&4)	1-n
503	MEN	C. TILE	C. TILE	5/8"GB (6&7)	AC. TILE	8'-0"	(6&7)	1-a,c,d,f,h,m,2-k,3-e
504	WOMEN	C. TILE	C. TILE	5/8"GB (6&7)	AC. TILE	8'-0"	(6&7)	1-a,c,d,f,g,i,m,3-e,k
505	ELEC. EQUIPMENT	CONC.	RTSB	5/8"GB (8&12)	CONC.	12'-3"±	(8&12)	

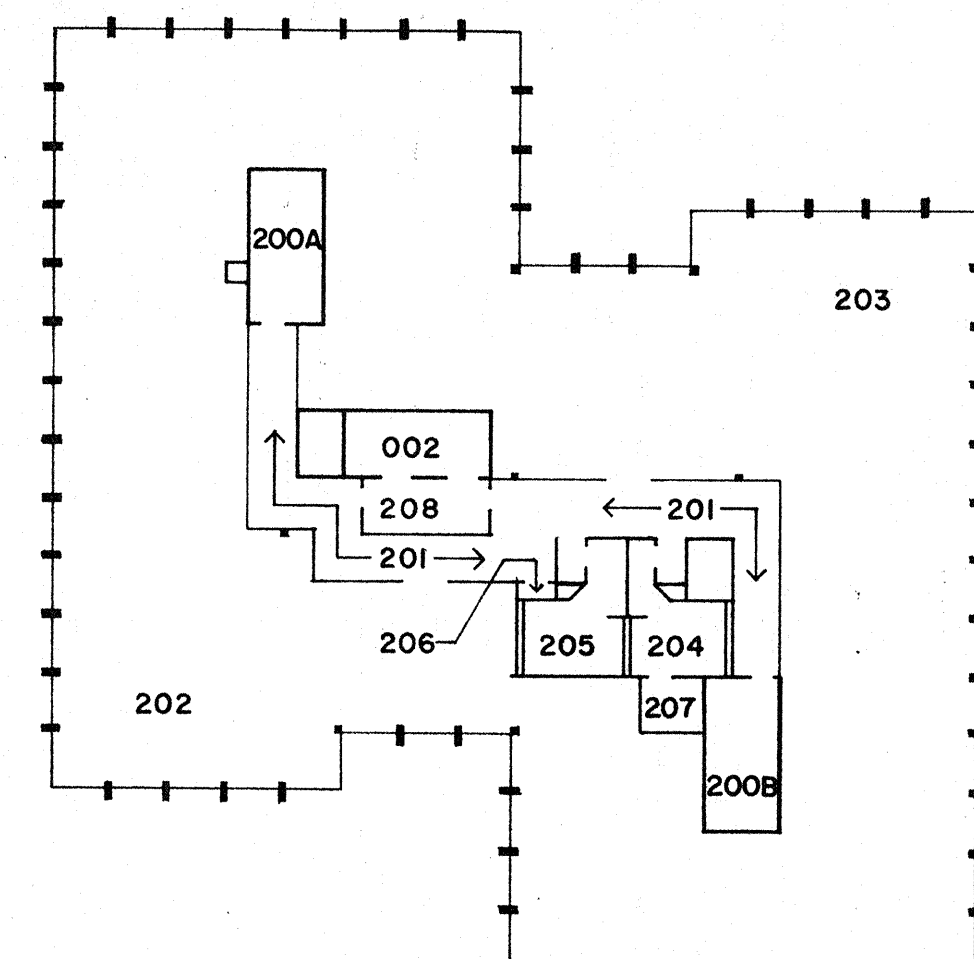
ROOF PLAN								
NO.	ROOM TITLE	FLOOR	BASE	WALL	CEILING	HEIGHT	REMARKS	ACCESSORIES
600A	STAIRWAY	CONC.	NONE	CONC.	CONC.	VARIES		
601	MACHINE ROOM	CONC.	NONE	5/8"GB (8)	5/8"GB (8)	9'-4"±	(8)	
602	MECHANICAL ROOM	CONC.	NONE	5/8"GB (8)	5/8"GB (8)	9'-4"±	(8)	



KEY BASEMENT FLOOR PLAN
SCALE 1" = 25'-0"



KEY FIRST FLOOR PLAN
SCALE 1" = 25'-0"



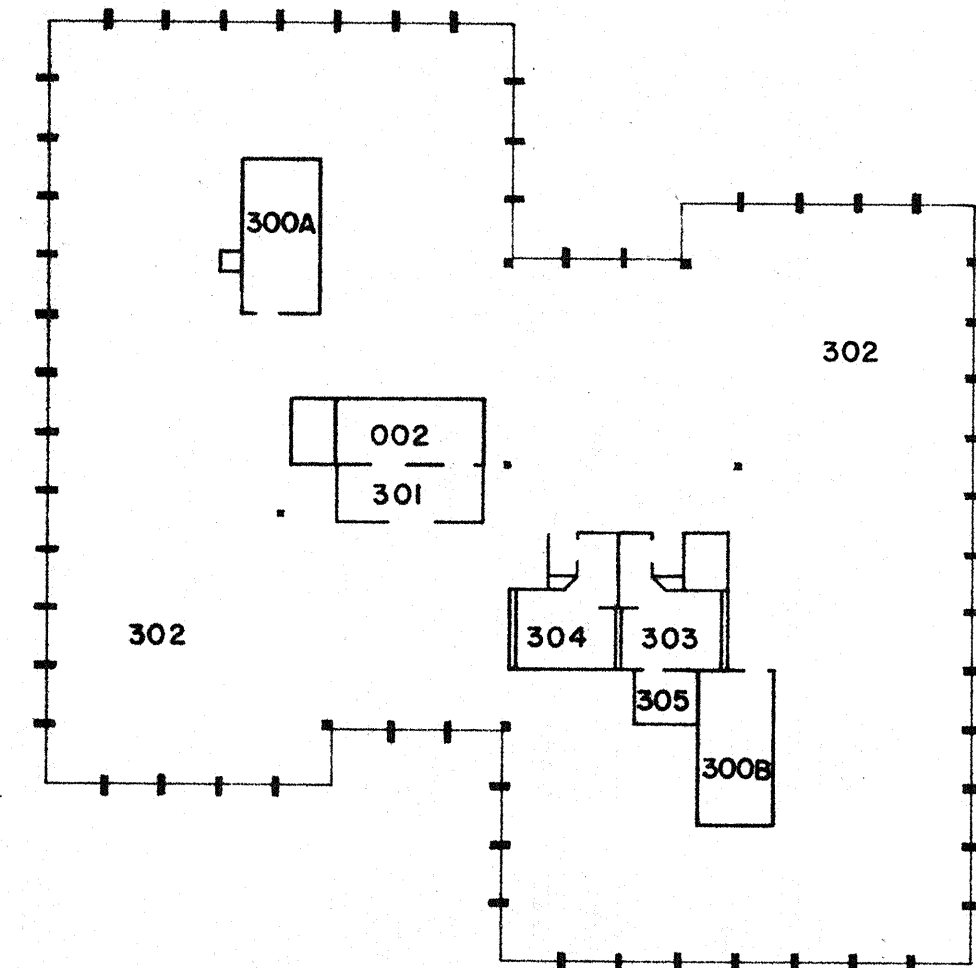
KEY SECOND FLOOR PLAN
SCALE 1" = 25'-0"

- REMARKS (see room finish schedule)
- PROVIDE 1 LAYER OF 5/8" GBT AND RTSB AT NORTH & WEST WALLS COMMON WITH ROOM 003.
 - SOUTH WALL IS CONCRETE. PROVIDE 2 LAYERS OF 5/8"GBT AT ALL TWO HOUR FIREWALLS.
 - ALL 5/8" GYPSUM BOARD TO BE TAPED AND PROVIDED WITH A SANDED SMOOTH FINISH (FINAL FINISH TO BE INSTALLED BY TENANT - N.I.C.).
 - ALL CONCRETE WALLS, COMMON WITH SUITE, SHALL REMAIN EXPOSED. ALL CONCRETE COLUMNS SHALL RECEIVE 1 LAYER OF 5/8" GYPSUM BOARD TO BE TAPED AND PROVIDED WITH A SANDED SMOOTH FINISH (FINAL FINISH TO BE INSTALLED BY TENANT - N.I.C.).
 - PROVIDE VINYL WALL COVERING OVER 1 LAYER OF 5/8" GYPSUM BOARD.
 - PROVIDE VINYL WALL COVERING OVER 1 LAYER OF 5/8" WATER-RESISTANT GYPSUM BOARD.
 - PROVIDE C. TILE WAISTCOT, 4'-0" HIGH, ON ALL WALLS OVER 1 LAYER OF 5/8" WATER-RESISTANT GYPSUM BOARD.
 - GYPSUM BOARD TO BE TAPED BUT NOT TEXTURED.
 - EAST, WEST & SOUTH WALLS ARE CONCRETE.
 - EAST & SOUTH WALLS ARE CONCRETE.
 - PROVIDE VINYL WALL COVERING OVER 1 LAYER OF 5/8" GYPSUM BOARD INCLUDING CONCRETE WALLS.
 - SOUTH & EAST WALLS ARE CONCRETE.
 - PROVIDE 1 LAYER OF 5/8" GBT AT ALL WALLS COMMON WITH ROOM 004.

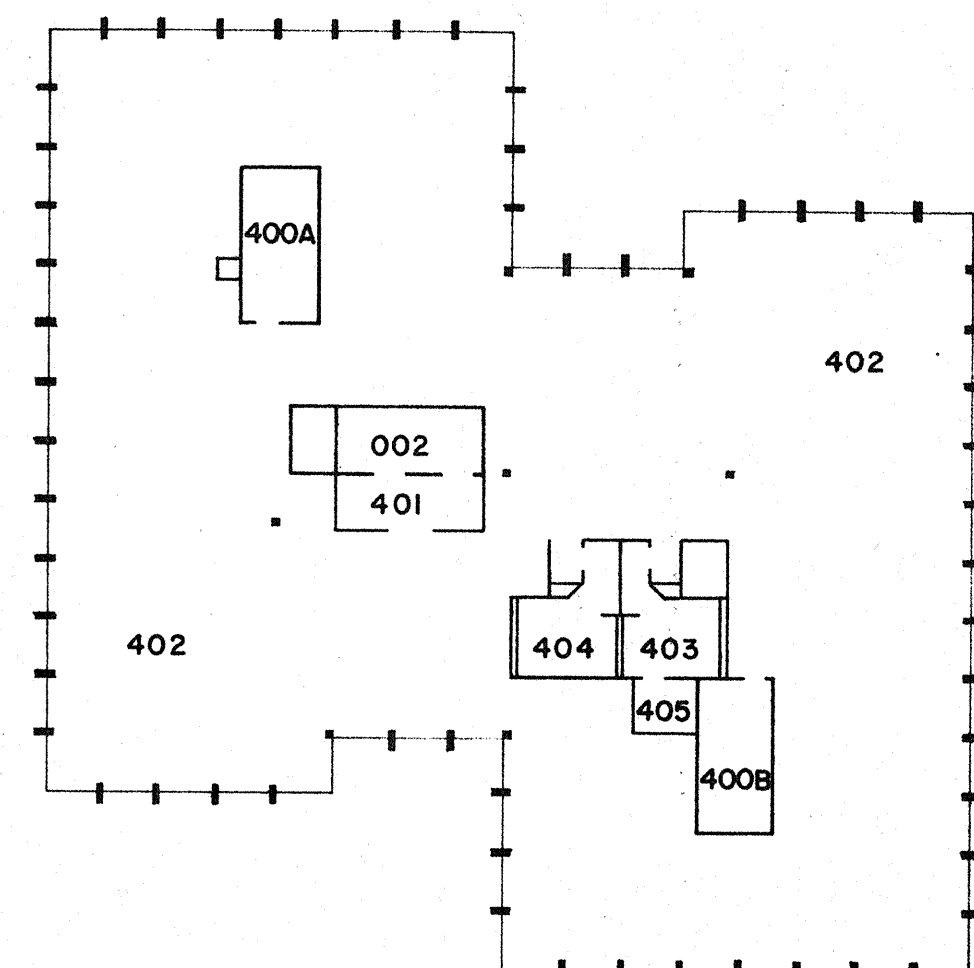
- ACCESSORIES (see room finish schedule)
- 84" x 36" MIRROR WITH POLISHED EDGES.
 - 72" x 36" MIRROR WITH POLISHED EDGES.
 - 30" STRAIGHT GRAB BAR.
 - 42" STRAIGHT GRAB BAR.
 - LATHERSHELF-ASHTRAY.
 - TOWEL DISPENSER & WASTE RECEPTACLE.
 - SANITARY NAPKIN & TAMPON DISPENSER.
 - TOILET PAPER & NAPKIN DISPENSERS (MEN).
 - TOILET PAPER & NAPKIN DISPOSAL DISPENSER (WOMEN).
 - TOILET SEAT COVER DISPENSER.
 - CEILING HUNG TOILET PARTITIONS AS REQUIRED.
 - WINDOW DRAPERY & TRACK AS REQUIRED.

- ABBREVIATIONS (see room finish schedule)
- AC. TILE - ACOUSTICAL TILE
 - C. TILE - CERAMIC TILE
 - CONC. - CONCRETE
 - GB - GYPSUM BOARD UNFINISHED
 - GBT - GYPSUM BOARD TEXTURED
 - PAT. CONC. - PATERN CONCRETE
 - RTSB - RUBBER TOP SET BASE
 - VYL. ASB. - VINYL ASBESTOS TILE

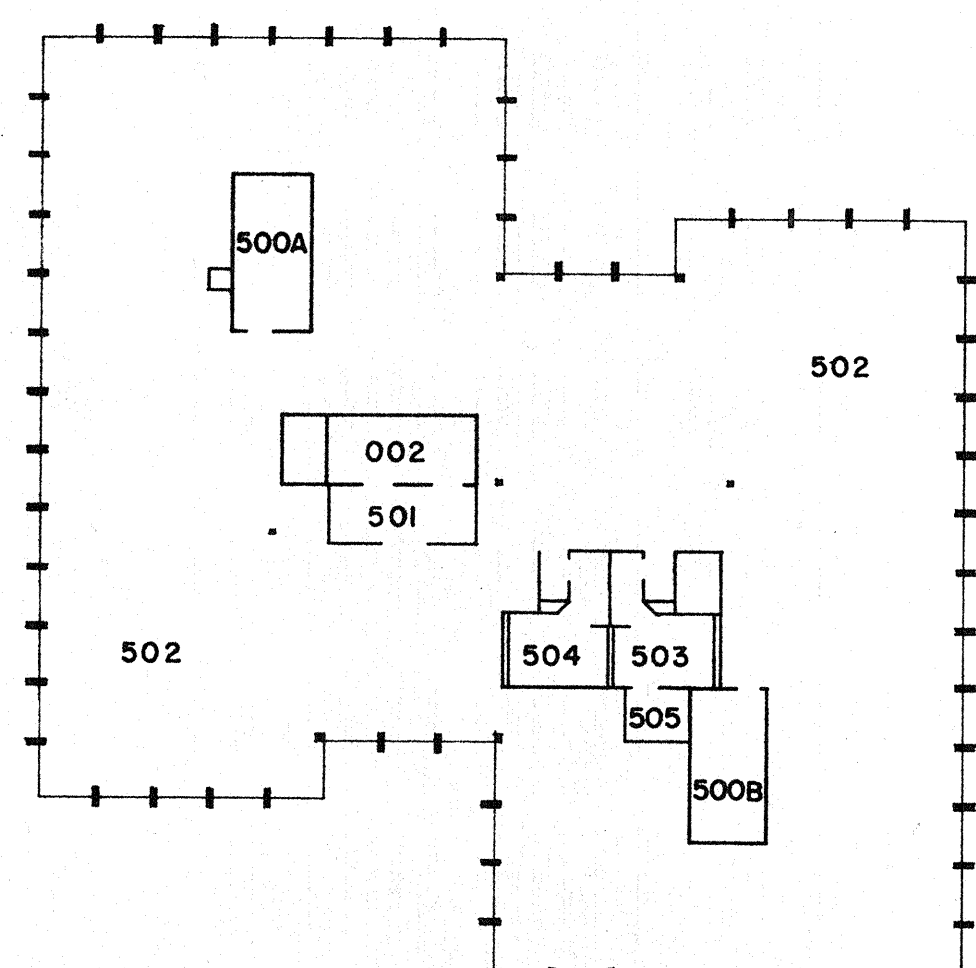
BUILDING II



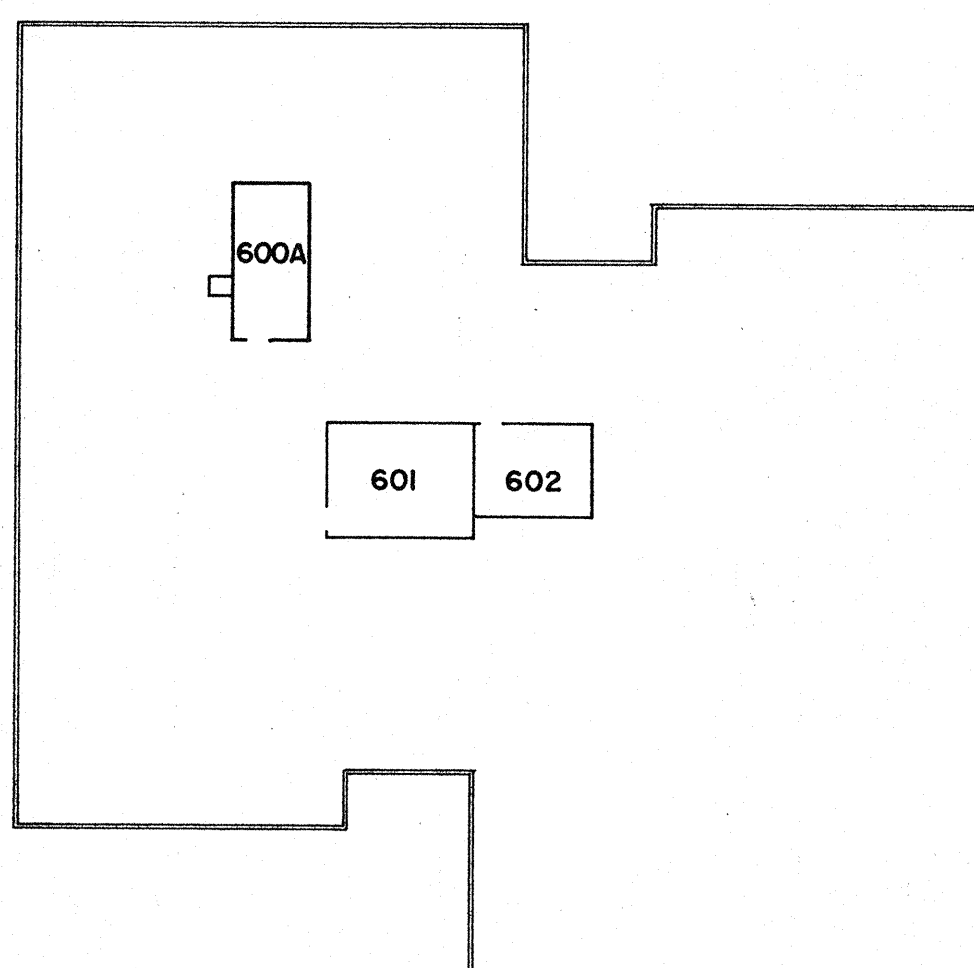
KEY THIRD FLOOR PLAN
SCALE 1" = 25'-0"



KEY FOURTH FLOOR PLAN
SCALE 1" = 25'-0"



KEY FIFTH FLOOR PLAN
SCALE 1" = 25'-0"



KEY ROOF PLAN
SCALE 1" = 25'-0"

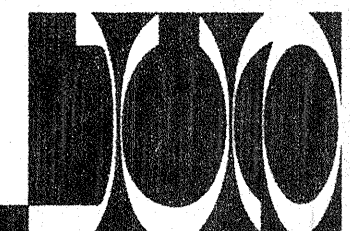
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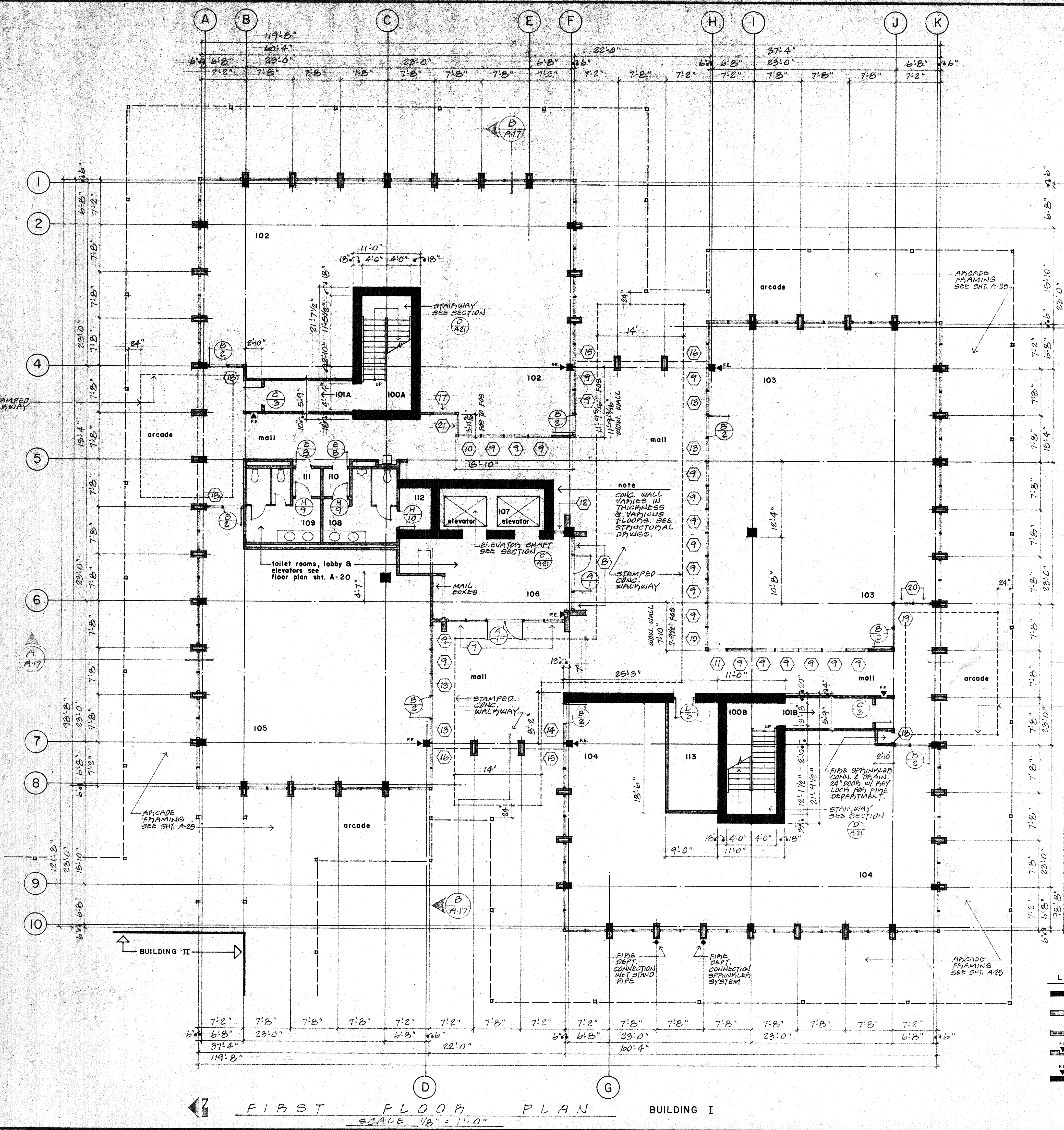
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18V/18D
7 JAN. 1982
18V/18D
25 JAN. 1982

THE WATERFRONT OFFICE TOWERS
stockton downtown redevelopment
weber avenue & lincoln street
stockton, california

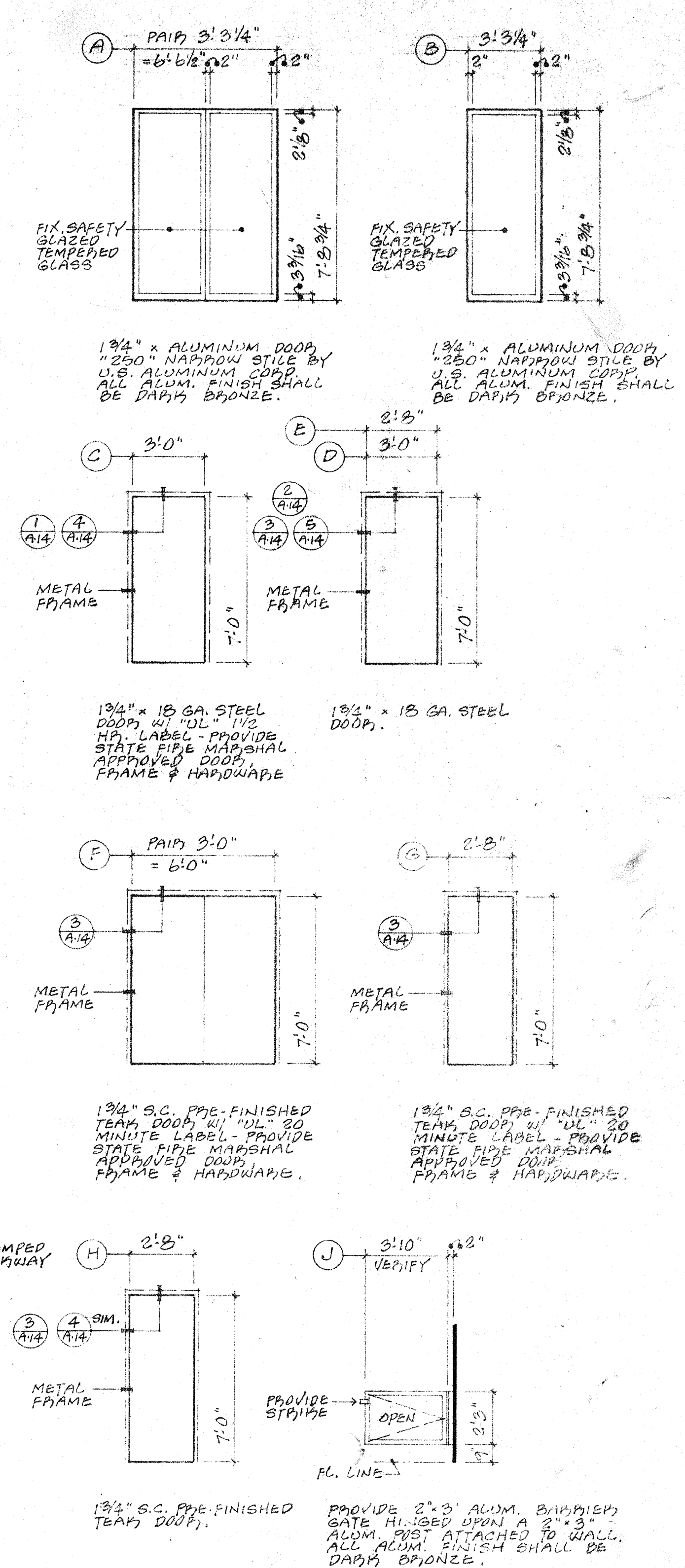
SCHMITZ
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545 S. MARK AVENUE
STOCKTON, CALIF. 95207-2887

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20091 Old Santa Cruz Highway
Los Gatos California 95030





FIRST FLOOR PLAN BUILDING I
SCALE 1/8" = 1'-0"



DOOR SCHEDULE
SCALE 1/4" = 1'-0"

- LEGEND**
- DENOTES CONCRETE WALL CONSTRUCTION OR A CONCRETE COLUMN.
 - DENOTES METAL STUD WALL CONSTRUCTION.
 - DENOTES TWO HOUR FIREWALL SEE DETS. 1 & 2 SHT. A-17.
 - DENOTES LOCATION OF ONE 2-A:10-B:C FIRE EXTINGUISHER IN RECESSED CABINET. (SEE SPECS. SECTION 10800)
 - DENOTES LOCATION OF ONE 2-A:10-B:C FIRE EXTINGUISHER IN SURFACE MOUNTED CABINET. (SEE SPECS. SECTION 10800).
 - DENOTES WINDOW SIZE - SEE WINDOW SCHEDULE SHT. A-4
 - DENOTES DOOR SIZE - SEE DOOR SCHEDULE SHT. A-3
 - DENOTES HARDWARE GROUP - SEE SPECS. SECTION 08700.
 - DENOTES DETAIL NUMBER.
 - DENOTES SECTION NUMBER, WHERE SHOWN.

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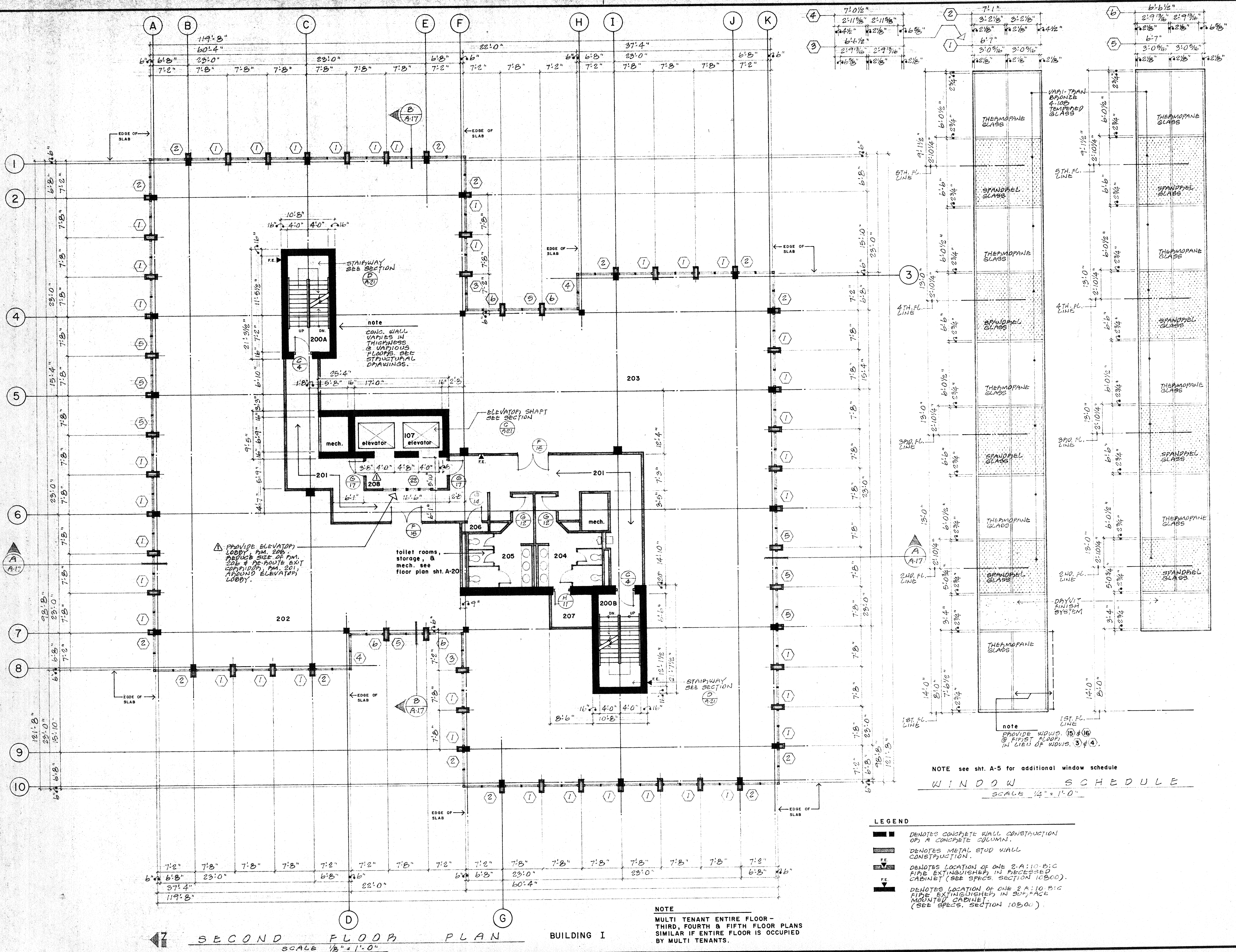
DATE 15 OCTOBER 1981

THE WATERFRONT OFFICE TOWERS
 stockton downtown redevelopment
 webster avenue & lincoln street
 stockton, california

SCHMITZ DEVELOPMENT INC.
 COMMUNITY DEVELOPERS
 STOCKTON, CALIF. 95207

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 408 353-1500
 20091 Old Santa Cruz Highway
 Los Gatos California 95030

A-3
 PAGE 2 OF 96 PAGES



SECOND FLOOR PLAN BUILDING I
SCALE 1/8" = 1'-0"

NOTE
MULTI TENANT ENTIRE FLOOR - THIRD, FOURTH & FIFTH FLOOR PLANS SIMILAR IF ENTIRE FLOOR IS OCCUPIED BY MULTI TENANTS.

- LEGEND**
- DENOTES CONCRETE WALL CONSTRUCTION OR A CONCRETE COLUMN.
 - ▨ DENOTES METAL STUD WALL CONSTRUCTION.
 - FE DENOTES LOCATION OF ONE 2A:10-B:C FIRE EXTINGUISHER IN PRECESSED CABINET (SEE SPECS. SECTION 10800).
 - FE DENOTES LOCATION OF ONE 2A:10-B:C FIRE EXTINGUISHER IN 30" x 36" MOUNTED CABINET (SEE SPECS. SECTION 10800).

WINDOW SCHEDULE
SCALE 1/4" = 1'-0"

NOTE see sht. A-5 for additional window schedule

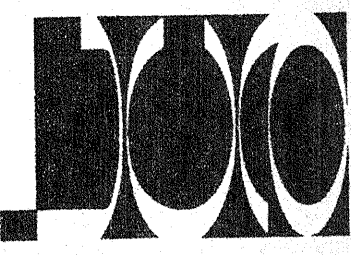
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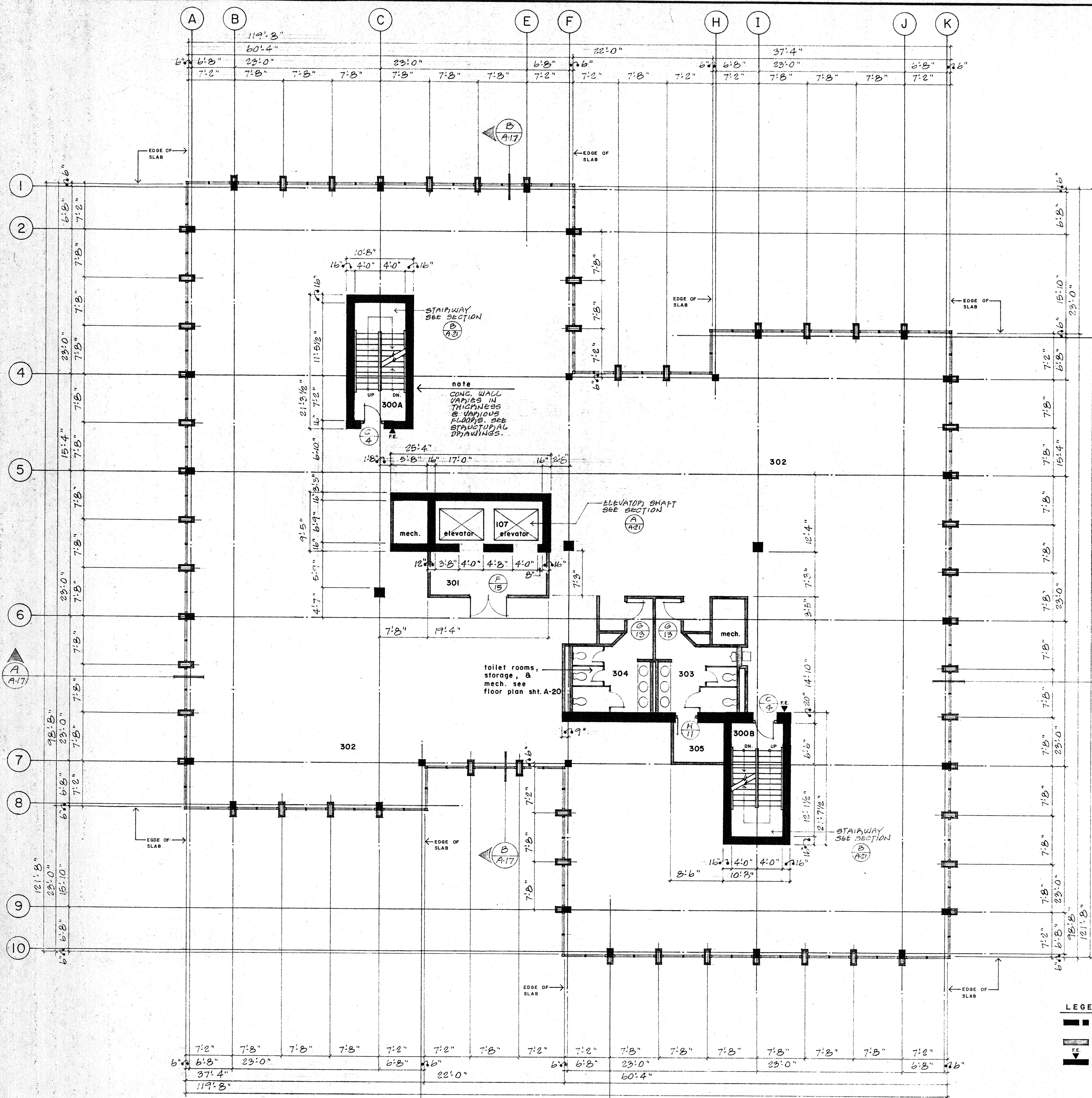
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REVISED 7 JAN. 1982

THE WATERFRONT OFFICE TOWERS
stockton downtown redevelopment
weber avenue & lincoln street
stockton, california

SCHWIMM
DEVELOPMENT INC.
CONVANT DEVELOPERS
STOCKTON, CA 95207 509 475 2571

Lawrence Cook
Architect
AIA
408 353-1500
20091 Old Santa Cruz Highway
Los Gatos California 95030

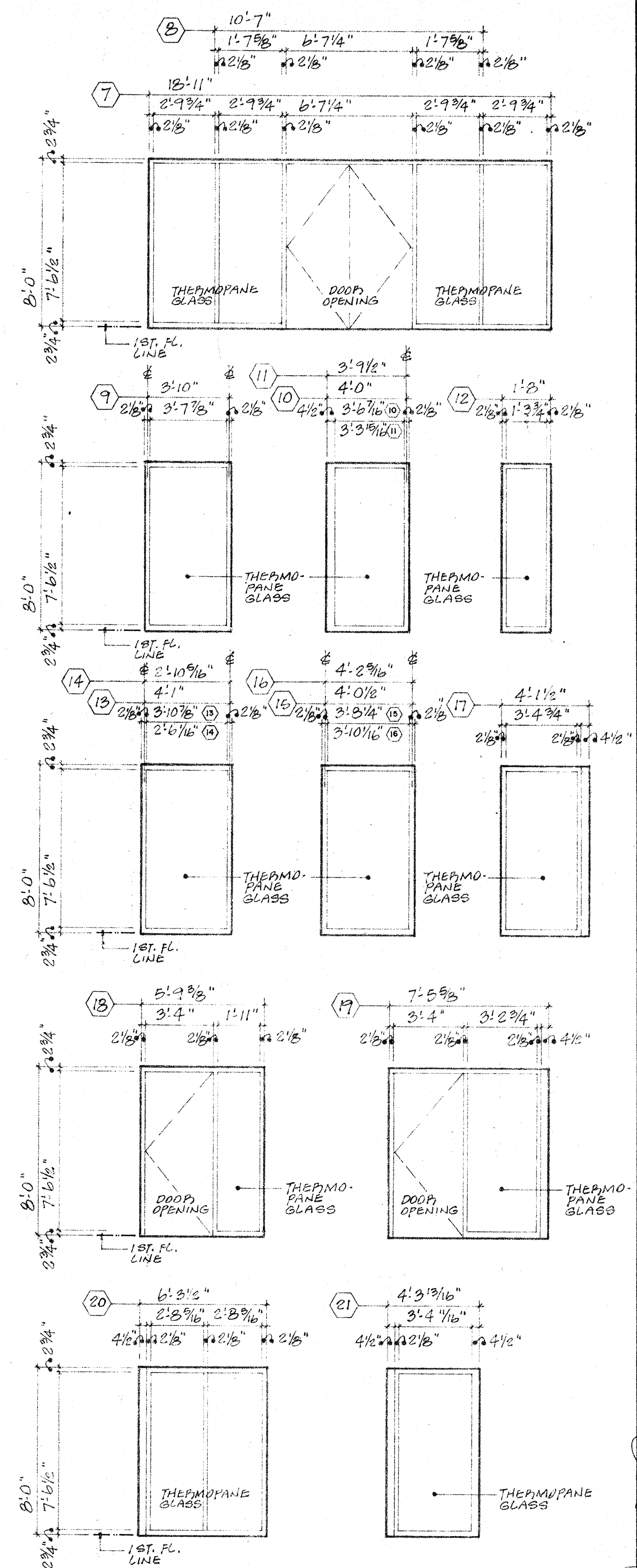




THIRD FLOOR PLAN
SCALE 1/8" = 1'-0"

BUILDING I

NOTE
SINGLE TENANT ENTIRE FLOOR - SECOND, FOURTH & FIFTH FLOOR PLANS SIMILAR IF ENTIRE FLOOR IS OCCUPIED BY A SINGLE TENANT.



NOTE see sht. A-4 for additional window schedule

WINDOW SCHEDULE
SCALE 1/4" = 1'-0"

LEGEND

- DENOTES COMPLETE WALL CONSTRUCTION OR A CONCRETE COLUMN.
- ▬ DENOTES METAL STUD WALL CONSTRUCTION.
- ⊙ DENOTES LOCATION OF ONE 3A: 10-B/C FIRE EXTINGUISHER IN SURFACE MOUNTED CABINET. (SEE SPECS. SECTION 10400).

Lawrence Cook Architects
15 OCTOBER 1981
REVISED
7 JAN. 1982

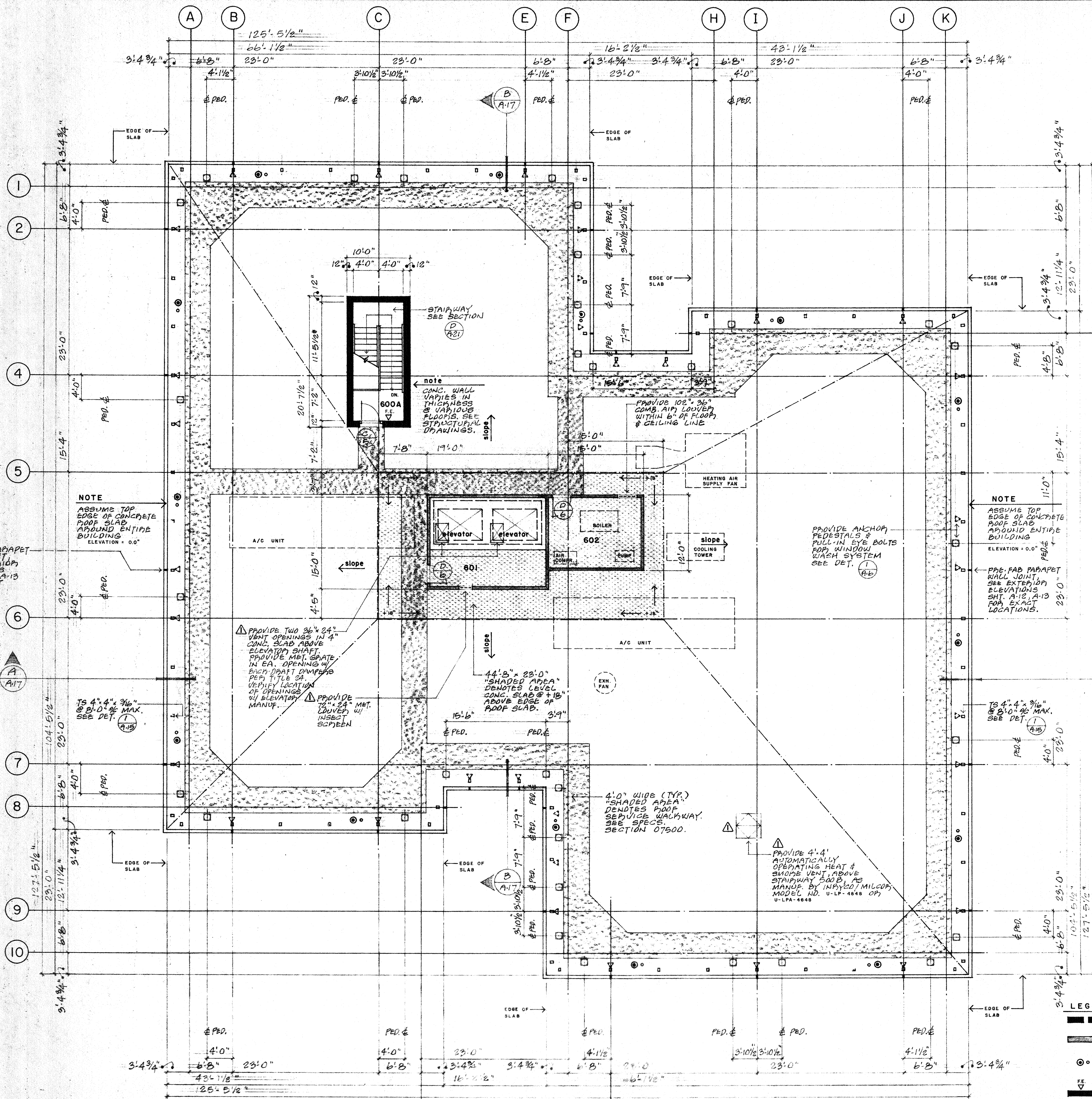
DATE
15 OCTOBER 1981
REVISED
7 JAN. 1982

THE WATERFRONT OFFICE TOWERS
stockton downtown redevelopment
weber avenue & lincoln street
stockton, california

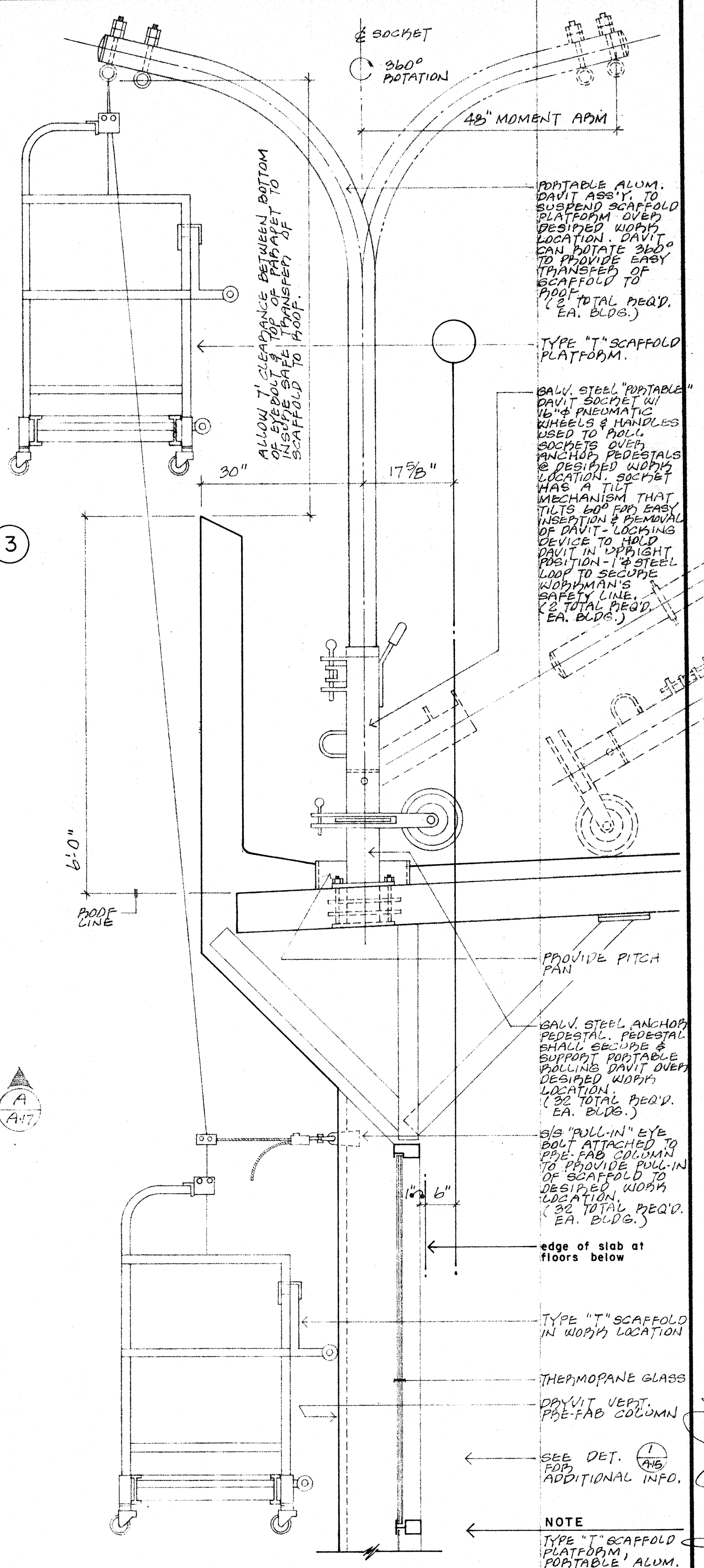
SCHMITZ
DEVELOPMENT INC.
300 ST. MARKS PLACE
STOCKTON, CALIF. 95210

Lawrence Cook
Architect
AIA
408 353-1500
20091 Old Santa Cruz Highway
Los Gatos California 95030





ROOF PLAN
SCALE 1/8" = 1'-0"
BUILDING I



LEGEND

- DENOTES CONCRETE WALL CONSTRUCTION OR A CONCRETE COLUMN.
- ▨ DENOTES METAL STUD WALL CONSTRUCTION.
- DENOTES LOCATION OF A ROOF DRAIN WITH MUSHROOM DOME. PROVIDE OVERFLOW DRAIN ADJACENT TO EACH ROOF DRAIN.
- DENOTES LOCATION OF ONE 4" Ø B.C. PIPE EXTINGUISHER IN SHAFER MOUNTED CABINET (SEE SPECS. SECTION 2800).
- DENOTES LOCATION OF A GALV. STEEL ANCHOR PEDESTAL (SEE DETAL REQ'D).
- ▽ DENOTES LOCATION OF 3/8" PULL-IN EYEBOLT (SEE TOTAL REQ'D).

1 WINDOW WASH DET.
SCALE 3/4" = 1'-0"

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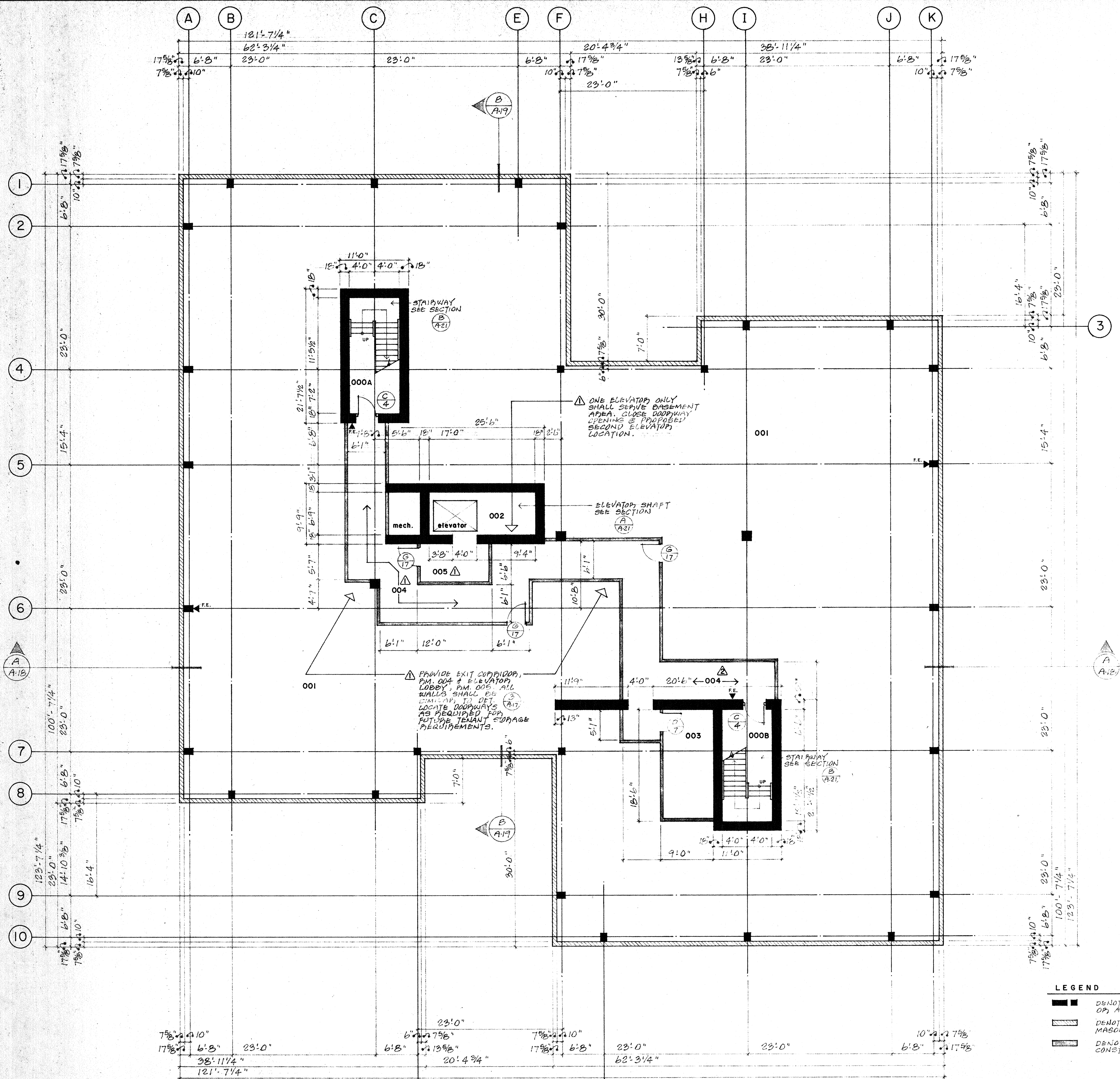
THE WATERFRONT OFFICE TOWERS
stockton downtown redevelopment
weber avenue & lincoln street
stockton, california

SCHMITZ
CASA MARCA DEVELOPERS
500 MARKET STREET, SUITE 100
STOCKTON, CALIFORNIA 95210

Lawrence Cook
Architect
ATA 408 353-1500
20091 Old Santa Cruz Highway
Los Gatos California 95030

A-6

PAGE 11 OF 96 PAGES

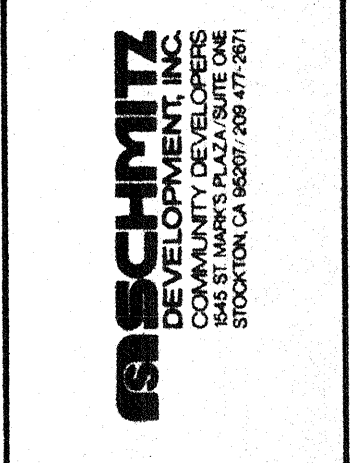


BASEMENT FLOOR PLAN
 SCALE 1/8" = 1'-0"
 BUILDING II

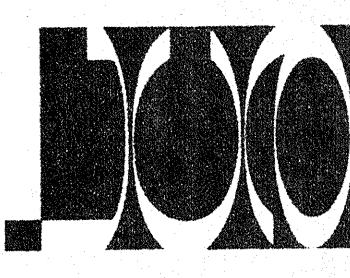
- LEGEND**
- DENOTES CONCRETE WALL CONSTRUCTION OR A CONCRETE COLUMN.
 - DENOTES 8" THICK CONCRETE BLOCK MASONRY WALL CONSTRUCTION.
 - DENOTES METAL STUD WALL CONSTRUCTION.
 - DENOTES LOCATION OF ONE 2-A:10-B:C PIPE EXTINGUISHER IN SURFACE MOUNTED CABINET (SEE SPECS. SECTION 10800).

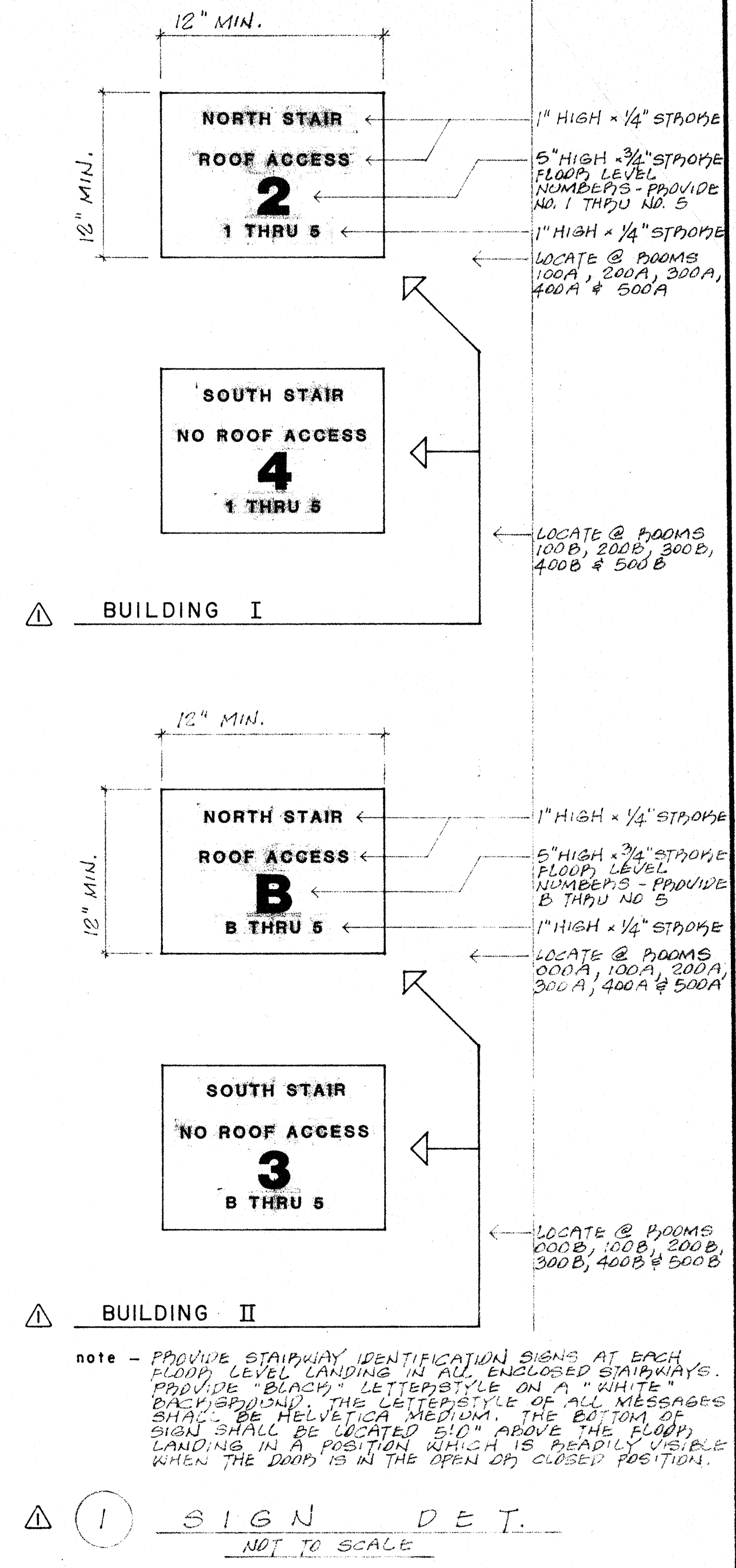
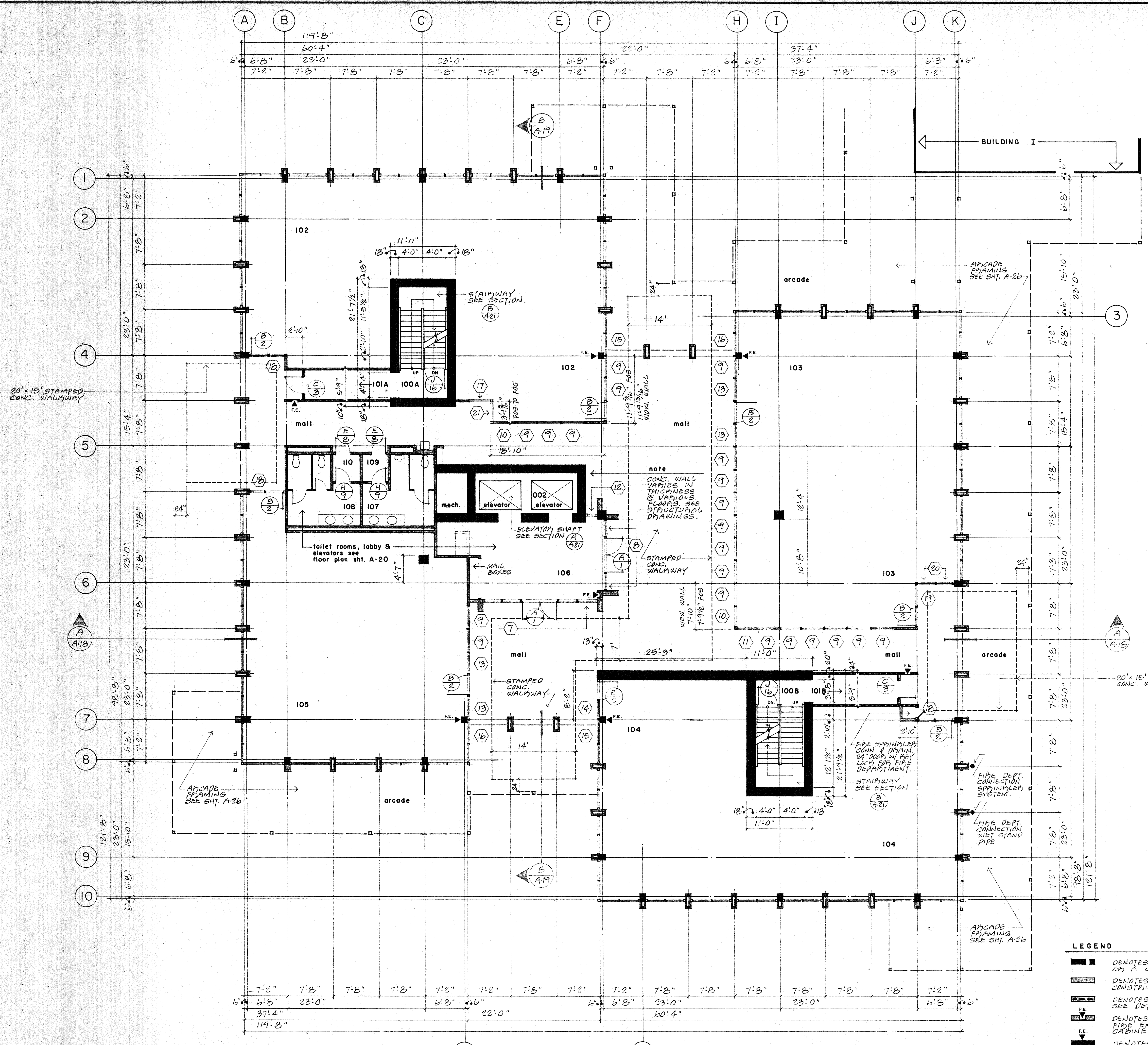
DATE 15 OCTOBER 1981
 15 JAN 1982
 25 JAN 1982

THE WATERFRONT OFFICE TOWERS
 stockton downtown redevelopment
 weber avenue & lincoln street
 stockton, california



Lawrence Cook
 Architect
 AIA 408 353-1500
 20091 Old Santa Cruz Highway
 Los Gatos California 95030





- LEGEND**
- DENOTES CONCRETE WALL CONSTRUCTION OR A CONCRETE COLUMN.
 - ▬ DENOTES METAL STUD WALL CONSTRUCTION.
 - DENOTES TWO HOOP FIREWALL SEE DETS. 1 & 2 SHT. A-17.
 - FE DENOTES LOCATION OF ONE 2 1/2" X 10" P.C. PIPE EXTINGUISHER IN RECESSED CABINET (SEE SPECS. SECTION 10800).
 - FE DENOTES LOCATION OF ONE 2 1/2" X 10" P.C. PIPE EXTINGUISHER IN SURFACE MOUNTED CABINET (SEE SPECS. SECTION 10800).

FIRST FLOOR PLAN BUILDING II
 22' x 16" = 1'-0"

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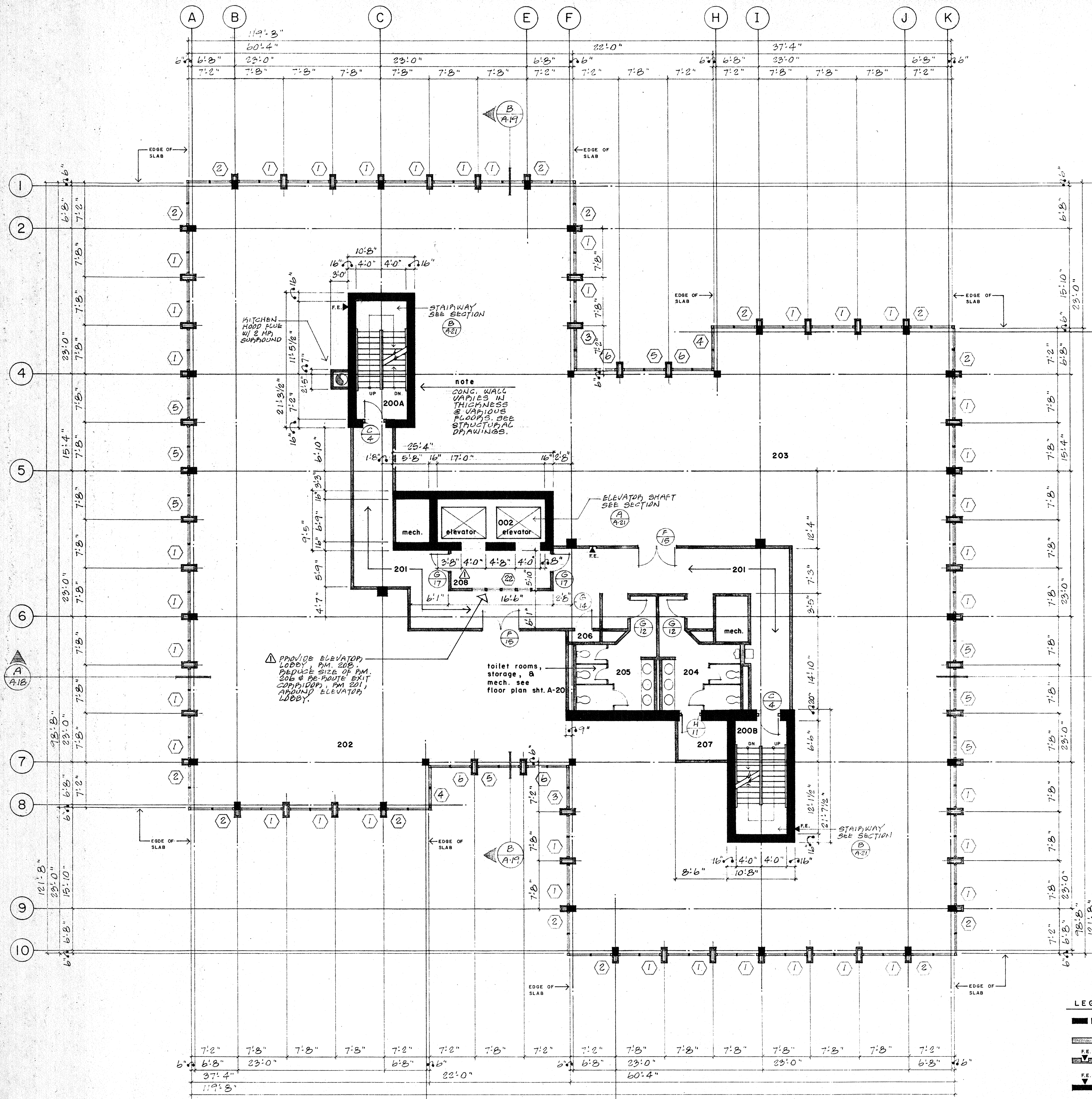
DATE: 15 OCTOBER 1981
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THE WATERFRONT OFFICE TOWERS
 stockton downtown redevelopment
 weber avenue & lincoln street
 stockton, california

RSCHMITZ
 DEVELOPMENT CONSULTANTS
 500 N. G ST. STOCKTON, CALIF. 95202

Lawrence Cook
 Architect
 AIA
 408 353-1500
 20091 Old Santa Cruz Highway
 Los Gatos California 95030

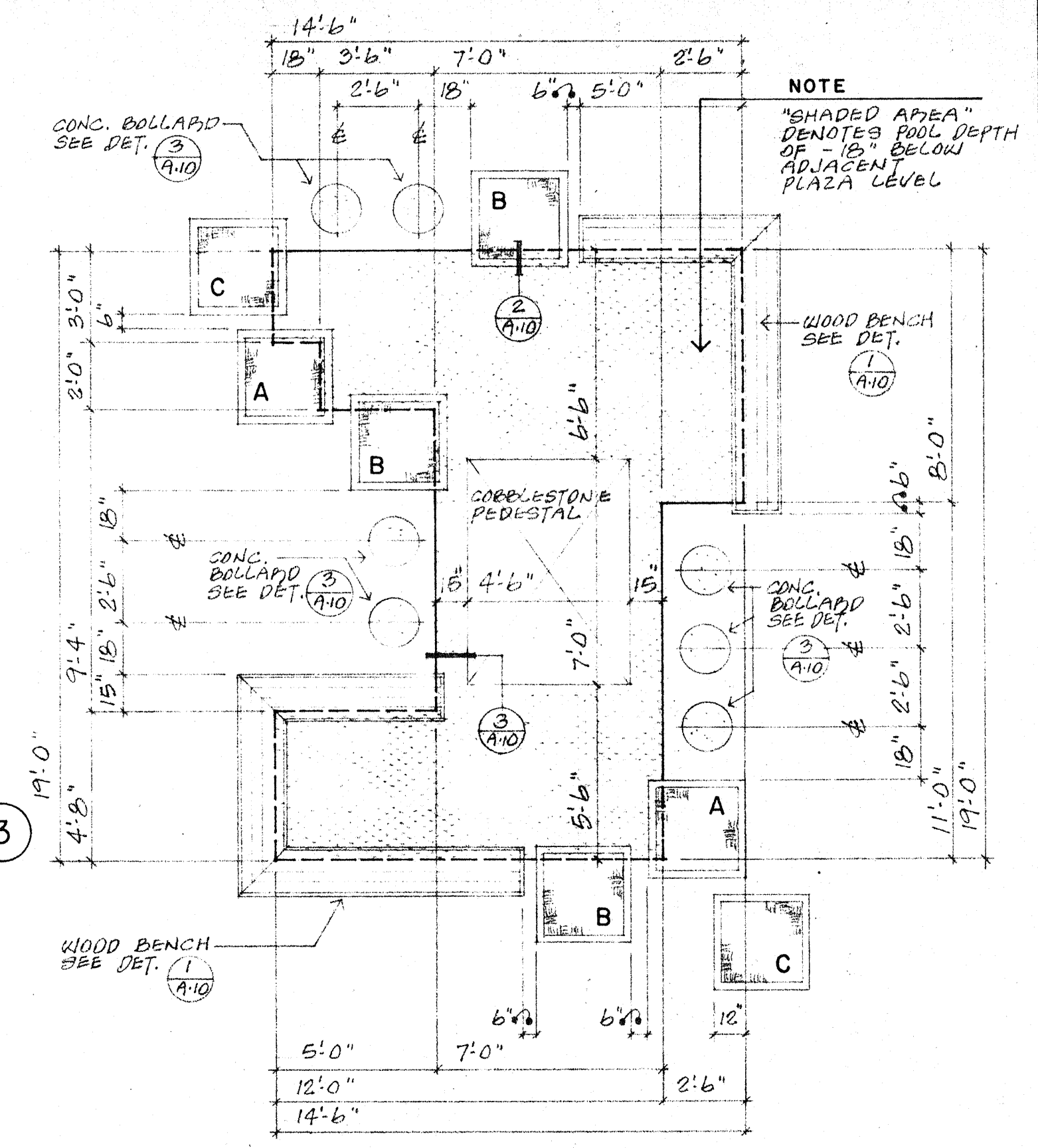




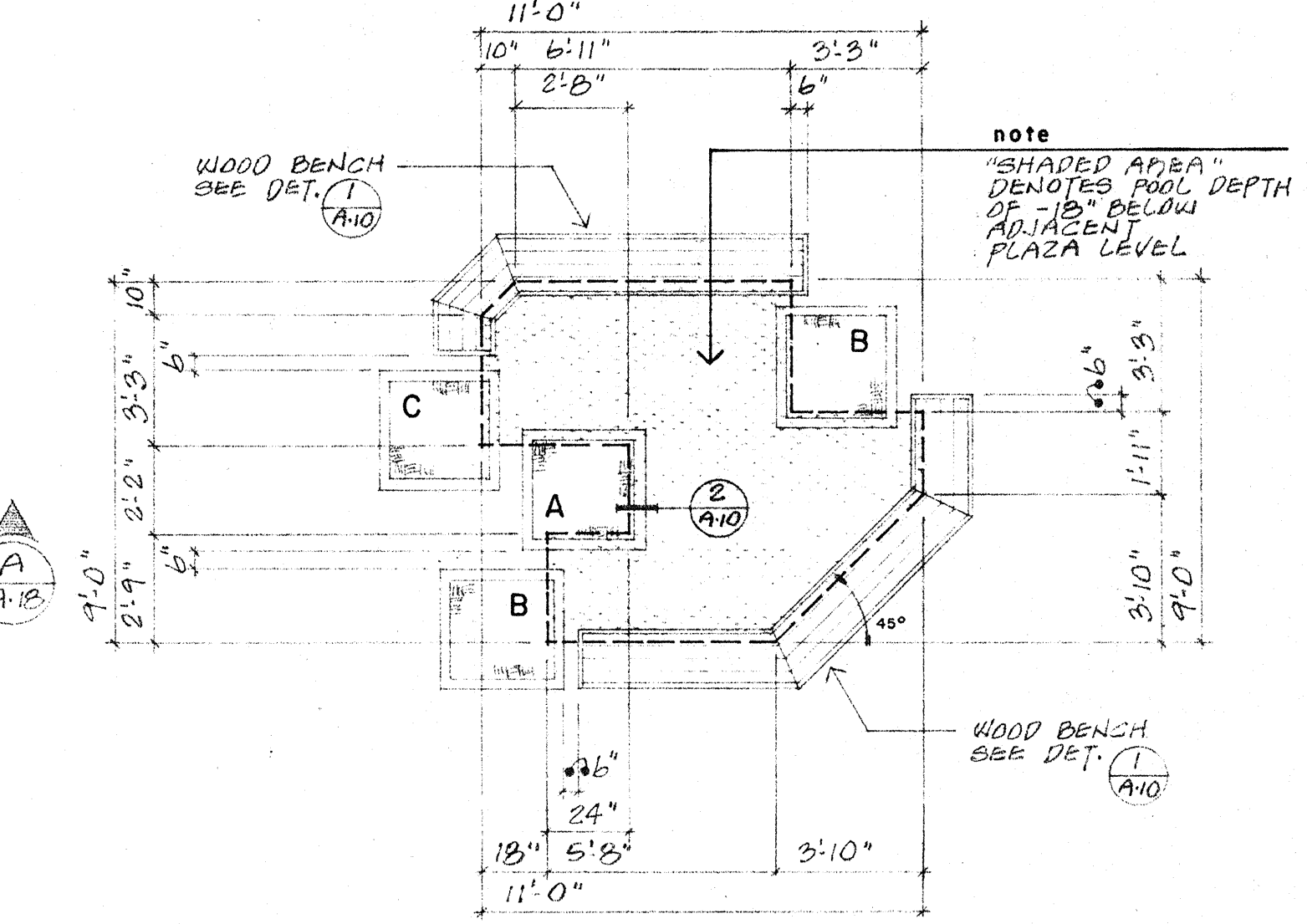
SECOND FLOOR PLAN BUILDING II
SCALE 1/8" = 1'-0"

NOTE
MULTI TENANT ENTIRE FLOOR - THIRD, FOURTH & FIFTH FLOOR PLANS SIMILAR IF ENTIRE FLOOR IS OCCUPIED BY MULTI TENANTS.

- LEGEND**
- DENOTES CONCRETE WALL CONSTRUCTION OR A CONCRETE COLUMN.
 - DENOTES METAL STUD WALL CONSTRUCTION.
 - DENOTES LOCATION OF ONE 2-A:10-B:C FIRE EXTINGUISHER & RECESSED CABINET. (SEE SPEC. SECTION 10200).
 - DENOTES LOCATION OF ONE 2-A:10-B:C FIRE EXTINGUISHER IN SURFACE MOUNTED CABINET. (SEE SPEC. SECTION 10200).



PLAN - WATER FEATURE NO. 2
SCALE 1/4" = 1'-0"



PLAN - WATER FEATURE NO. 1
SCALE 1/4" = 1'-0"

- NOTE**
1. CONCRETE PLANTERS SHALL BE AS MANUFACTURED BY WESTERN ART STONE CO., INC., BERKELEY, CALIF.
- A DENOTES MODEL NO. S-3A-30
 - B DENOTES MODEL NO. S-3A-22
 - C DENOTES MODEL NO. S-3A-17

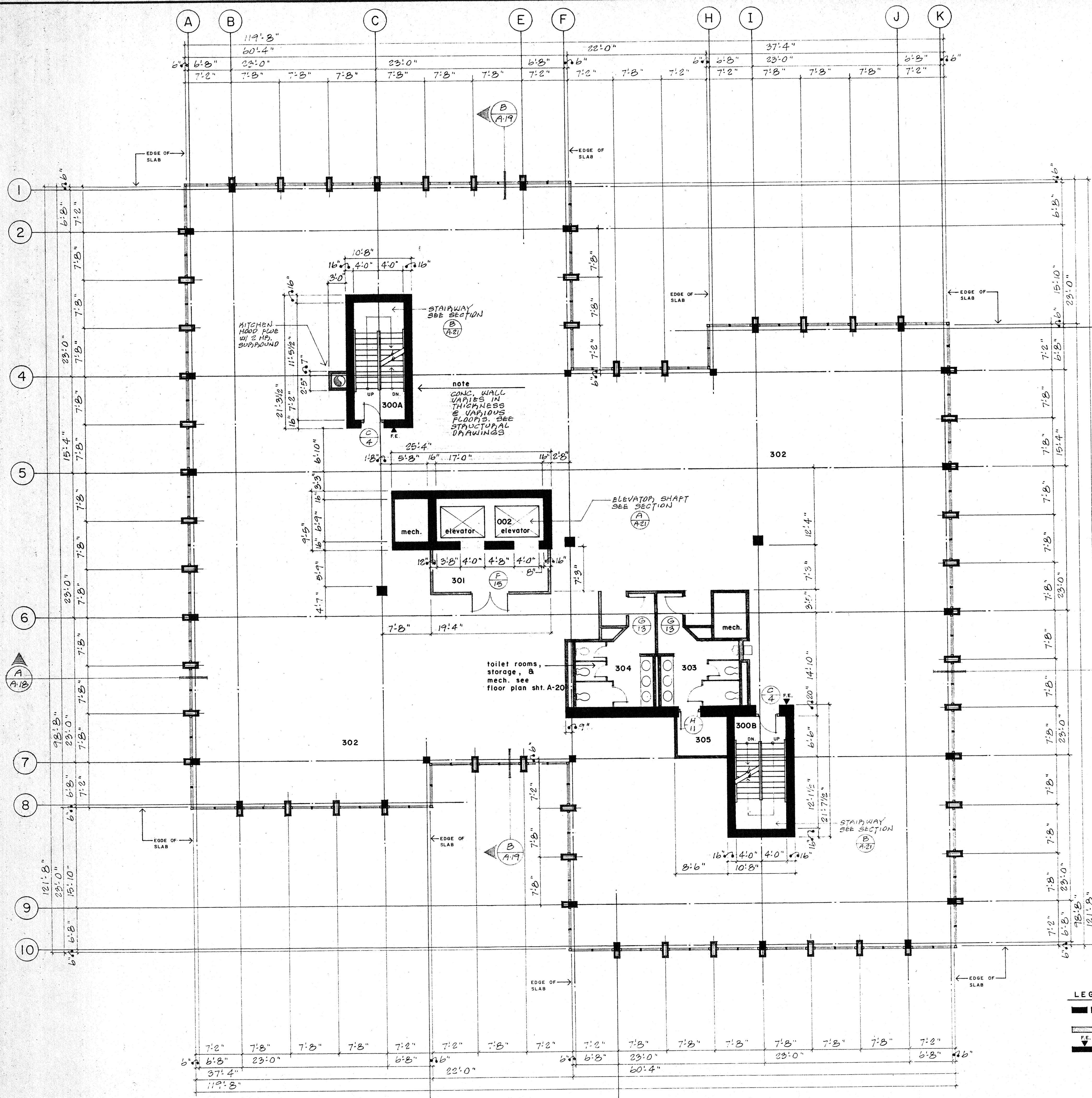
Lawrence Cook Architects, Inc.
DATE 15 OCTOBER 1981
REVISED 7 JAN. 1982

THE WATERFRONT OFFICE TOWERS
stockton downtown redevelopment
weber avenue & lincoln street
stockton, california

SCHECHMITZ
DEVELOPMENT, INC.
COMMUNITY DEVELOPERS
STOCKTON, CALIF. 95207-3007

Lawrence Cook
Architect
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408 353-1500
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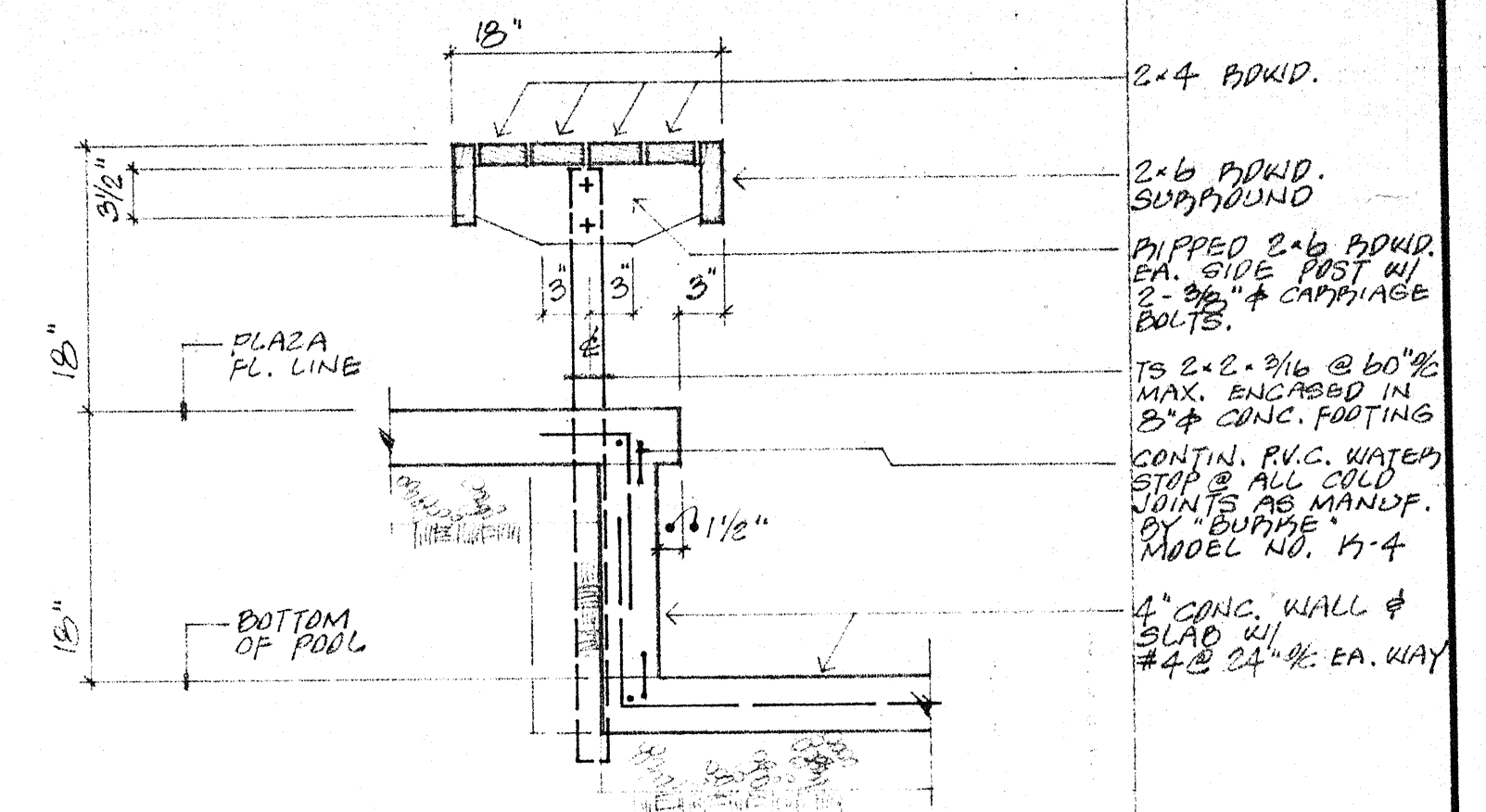


THIRD FLOOR PLAN
SCALE 1/8" = 1'-0"

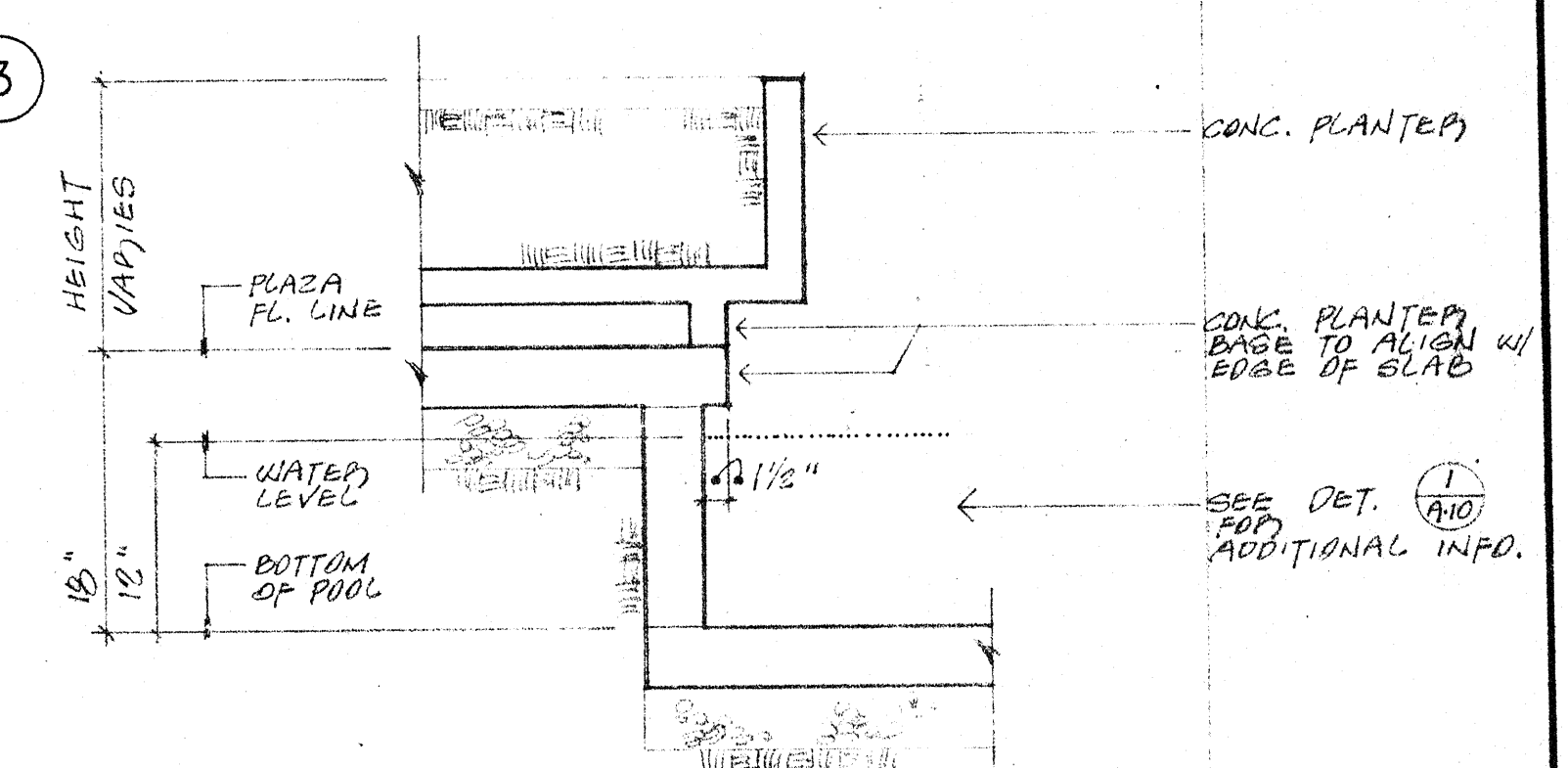
BUILDING II

NOTE
SINGLE TENANT ENTIRE FLOOR - SECOND, FOURTH & FIFTH FLOOR PLANS SIMILAR IF ENTIRE FLOOR IS OCCUPIED BY A SINGLE TENANT.

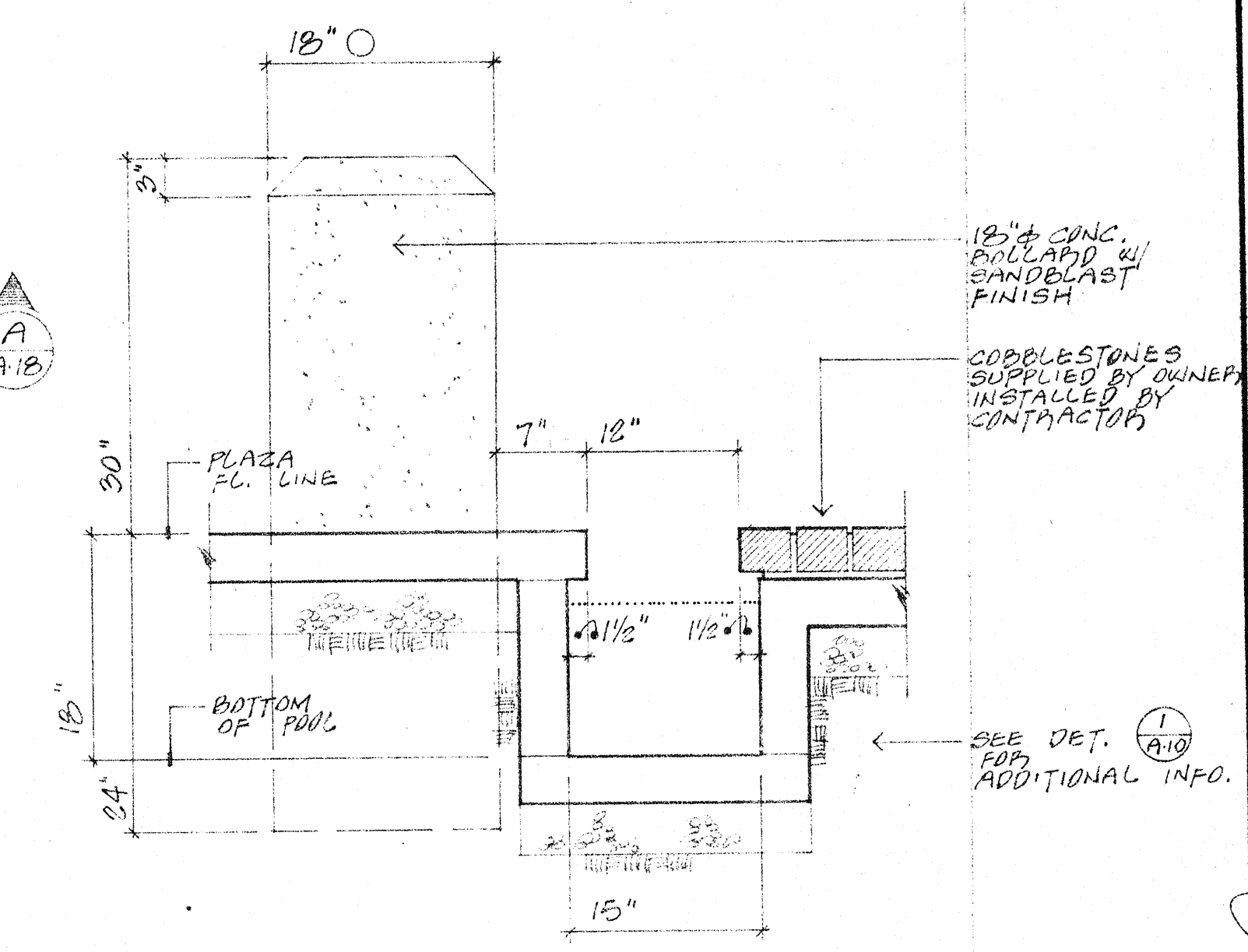
- LEGEND
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 - DENOTES METAL STUD WALL CONSTRUCTION.
 - DENOTES LOCATION OF ONE 2A:10-B:1 FIRE EXTINGUISHER IN SURFACE MOUNTED CABINET. (SEE SPECS. SECTION 109.01).



1 BENCH DET.
SCALE 1" = 1'-0"



2 POOL - PLANTED DET.
SCALE 1" = 1'-0"



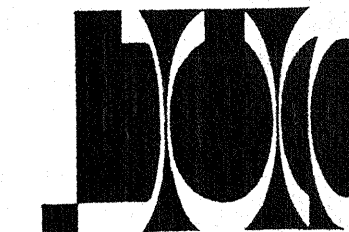
3 POOL - BOLLARD DET.
SCALE 1" = 1'-0"

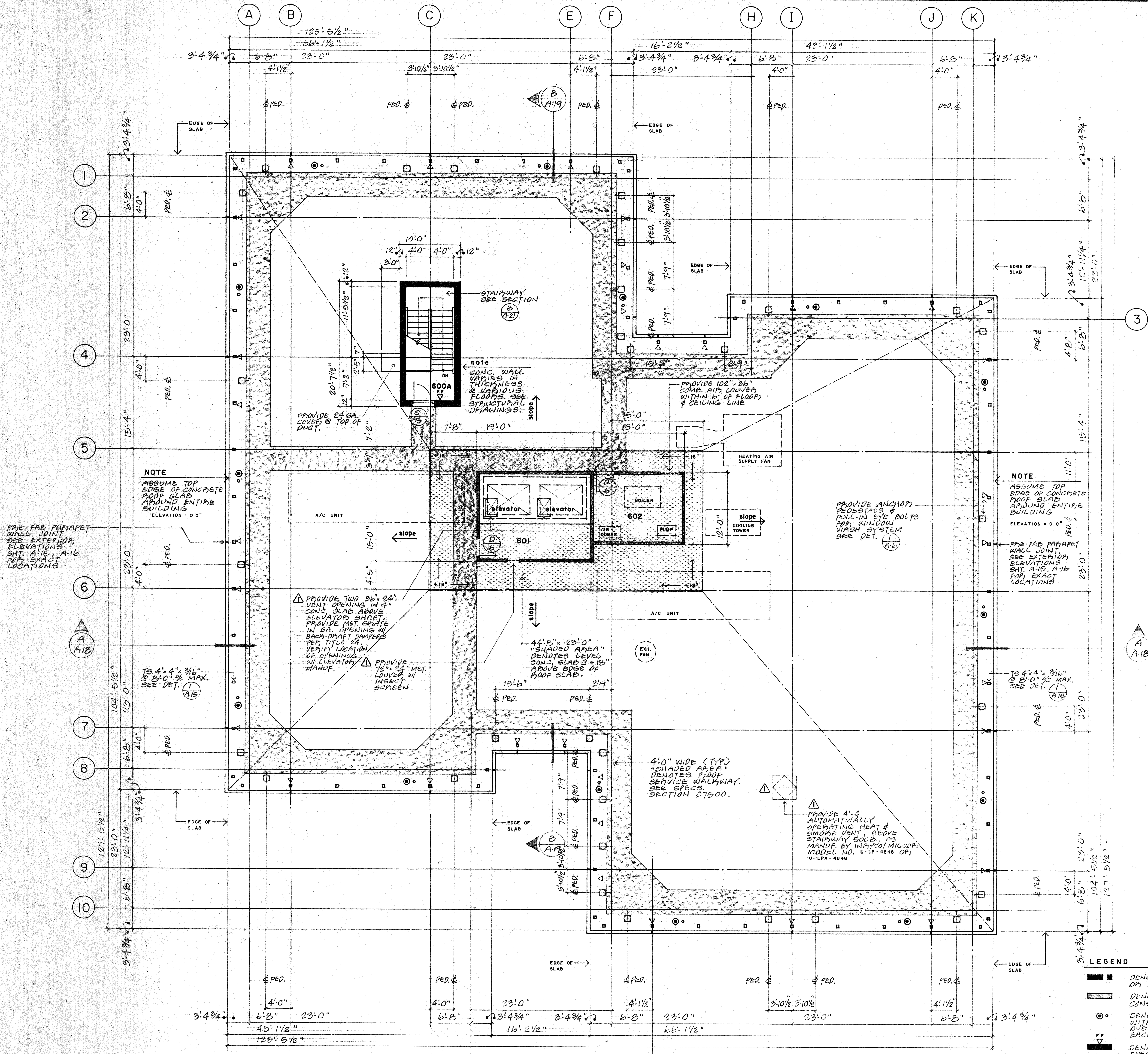
DATE 15 OCTOBER 1981

THE WATERFRONT OFFICE TOWERS
stockton downtown redevelopment
weber avenue & lincoln street
stockton, california

SCHMITZ
DEVELOPMENT, INC.
COMMUNITY DEVELOPERS
STOCKTON, CALIF. 95207

Lawrence Cook
Architect
AIA
408 353-1500
20091 Old Santa Cruz Highway
Los Gatos California 95030





NOTE
 ASSUME TOP
 EDGE OF CONCRETE
 ROOF SLAB
 AROUND ENTIRE
 BUILDING
 ELEVATION = 0.0'

NOTE
 ASSUME TOP
 EDGE OF CONCRETE
 ROOF SLAB
 AROUND ENTIRE
 BUILDING
 ELEVATION = 0.0'

PROVIDE ANCHORS
 PEDESTALS &
 PULL-IN EYE BOLTS
 FOR WINDOW
 WASH SYSTEM
 SEE DET.

PROVIDE TWO 36" x 24"
 VENT OPENINGS IN 24"
 CONC. SLAB ABOVE
 ELEVATOR SHAFT
 PROVIDE MET. GRATE
 IN E.L. OPENING W/
 BACK DRAFT DAMPERS
 PER TITLE 24
 VERIFY LOCATION
 OF OPENINGS
 W/ ELEVATOR
 MANUF. PROVIDE
 20" x 24" MET.
 LOUVER W/
 INSECT
 SCREEN

44'-8" x 23'-0"
 "SHADED AREA"
 DENOTES LEVEL
 CONC. SLAB @ +15'
 ABOVE EDGE OF
 ROOF SLAB.

4'-0" WIDE (TYP.)
 "SHADED AREA"
 DENOTES ROOF
 SERVICE WALKWAY.
 SEE SPECS.
 SECTION 07500.

PROVIDE 4'-4"
 AUTOMATICALLY
 OPERATING HEAT &
 SMOKE VENT ABOVE
 STAIRWAY GOOD AS
 MANUF. BY INPYCO/MILCOPI
 MODEL NO. U-LP-4848 OP,
 U-LPA-4848

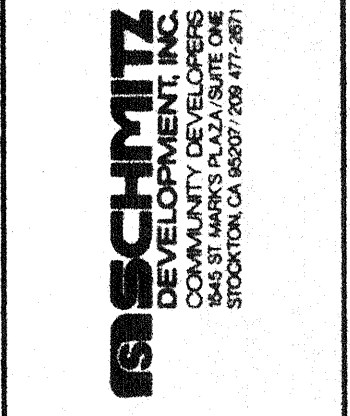
- LEGEND**
- DENOTES CONCRETE WALL CONSTRUCTION OR A CONCRETE COLUMN.
 - ▨ DENOTES METAL STUD WALL CONSTRUCTION.
 - DENOTES LOCATION OF A ROOF DRAIN WITH MUSHROOM DOME. PROVIDE OVERFLOW DRAIN ADJACENT TO EACH ROOF DRAIN.
 - DENOTES LOCATION OF ONE 2-A:40-B:IC PIPE EXTINGUISHER IN SURFACE MOUNTED CABINET. (SEE SPECS. SECTION 10500).
 - DENOTES LOCATION OF A 3/4" STEEL ANCHOR PEDESTAL. (32 TOTAL REQ'D).
 - ▽ DENOTES LOCATION OF 1/2" "PULL-IN" EYEBOLT. (32 TOTAL REQ'D).

ROOF PLAN
 BUILDING II
 SCALE 1/8" = 1'-0"

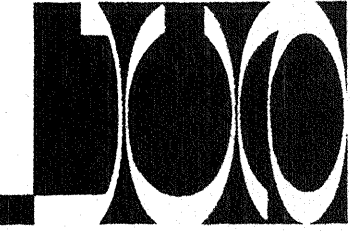
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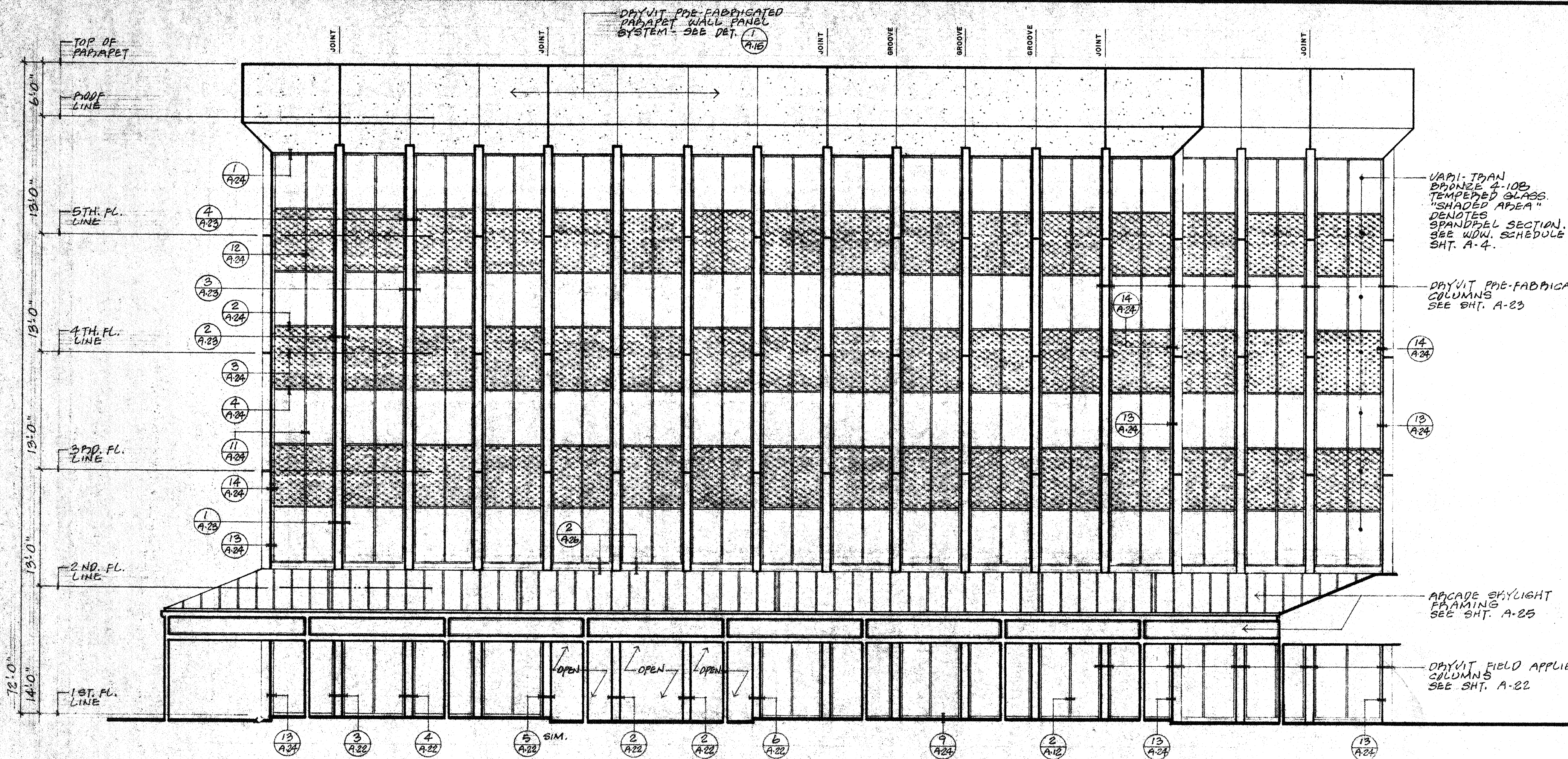
DATE 15 OCTOBER 1981
 22/1/82
 7 JAN. 1982

THE WATERFRONT OFFICE TOWERS
 Stockton downtown redevelopment
 Weber Avenue & Lincoln Street
 Stockton, California

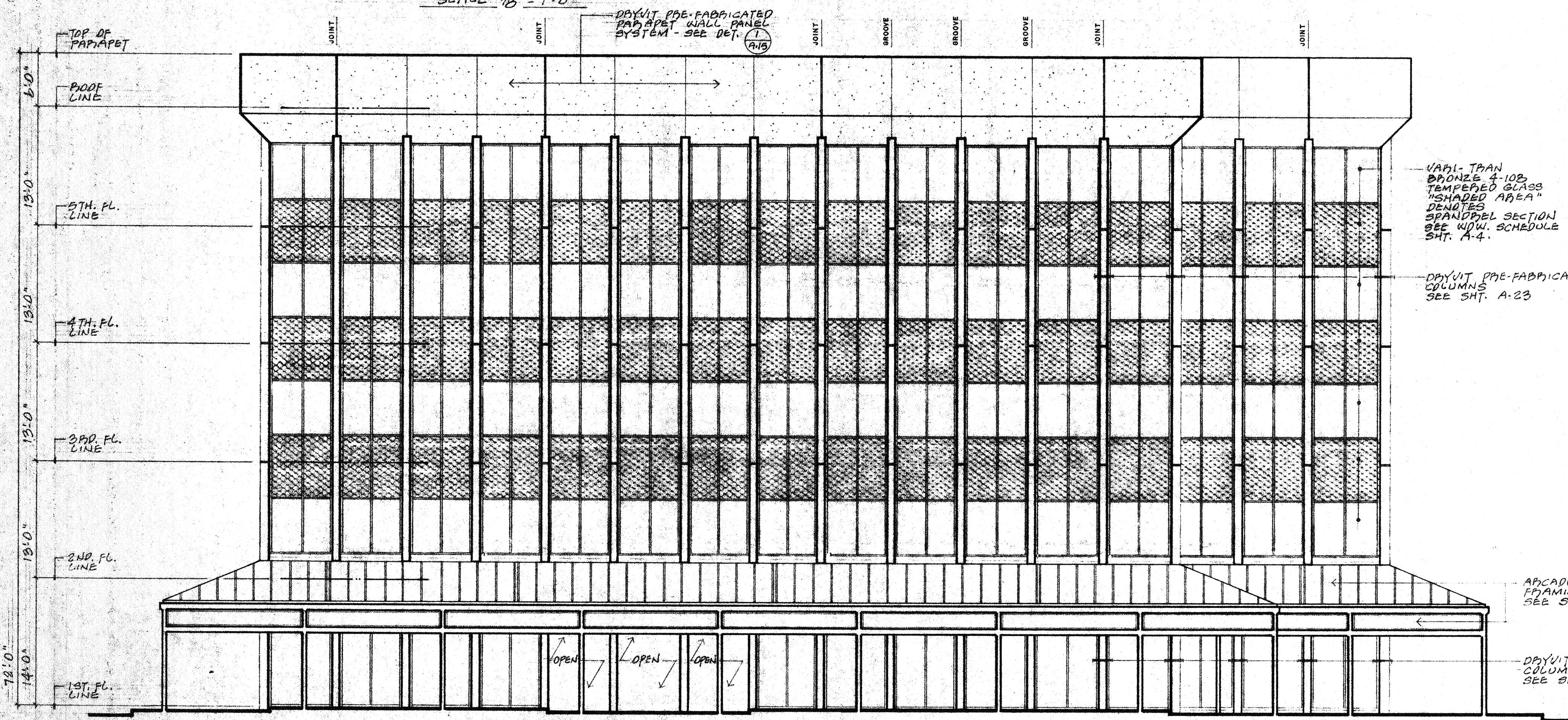


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 AIA
 20091 Old Santa Cruz Highway
 Los Gatos California 95030

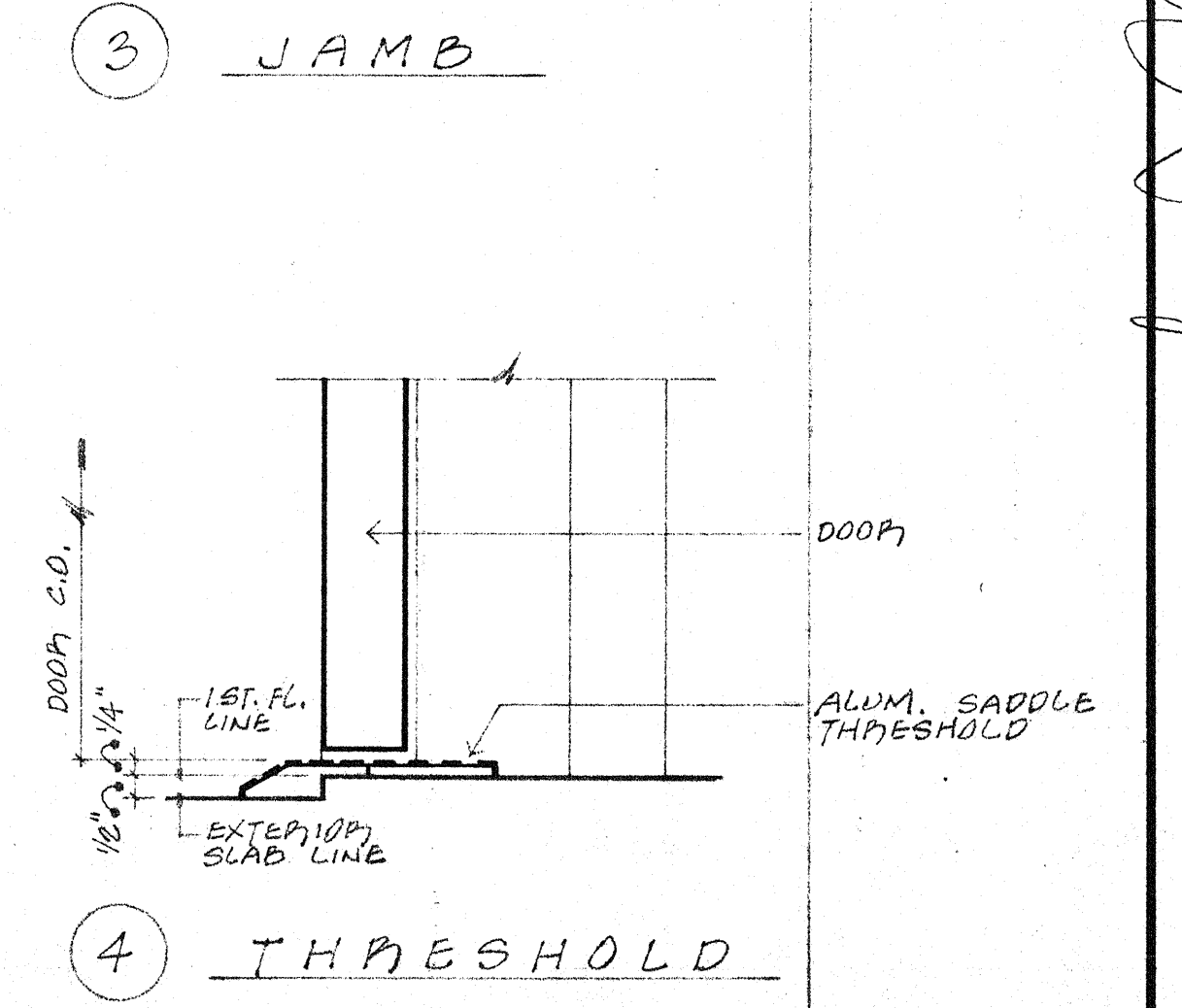
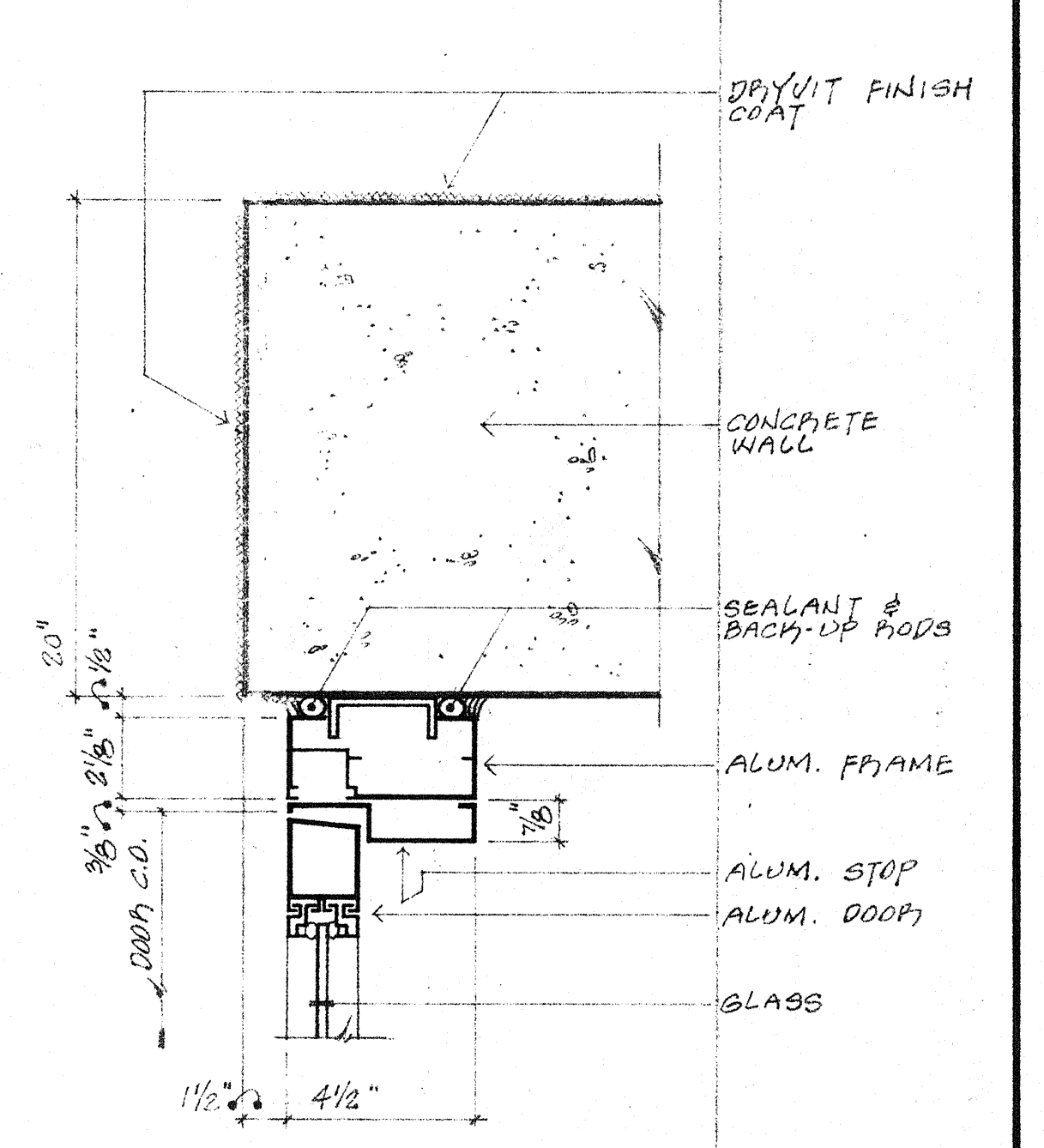
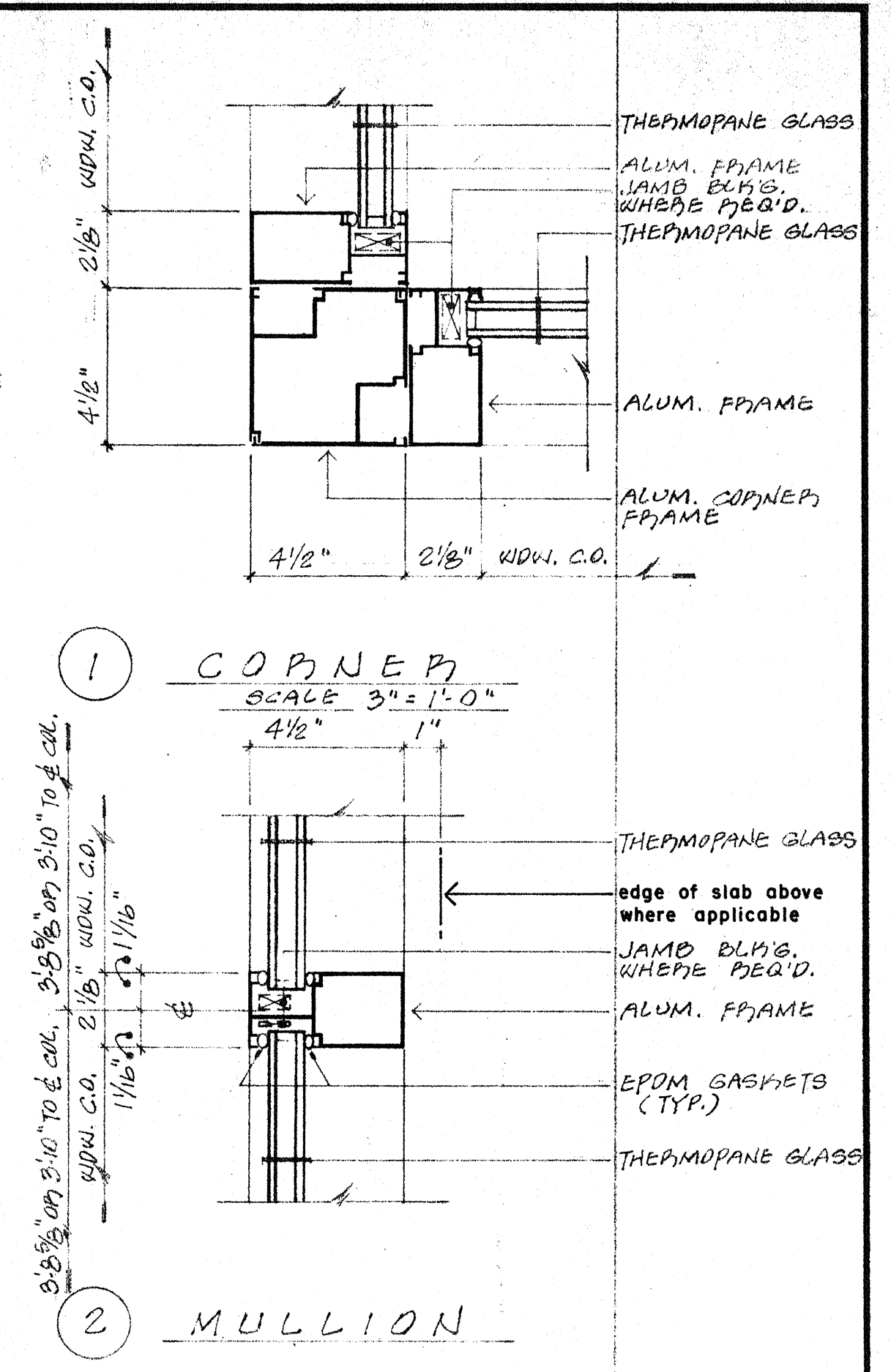




NORTH ELEVATION BUILDING I
SCALE 1/8" = 1'-0"



SOUTH ELEVATION BUILDING I
SCALE 1/8" = 1'-0"



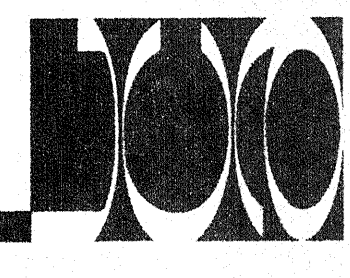
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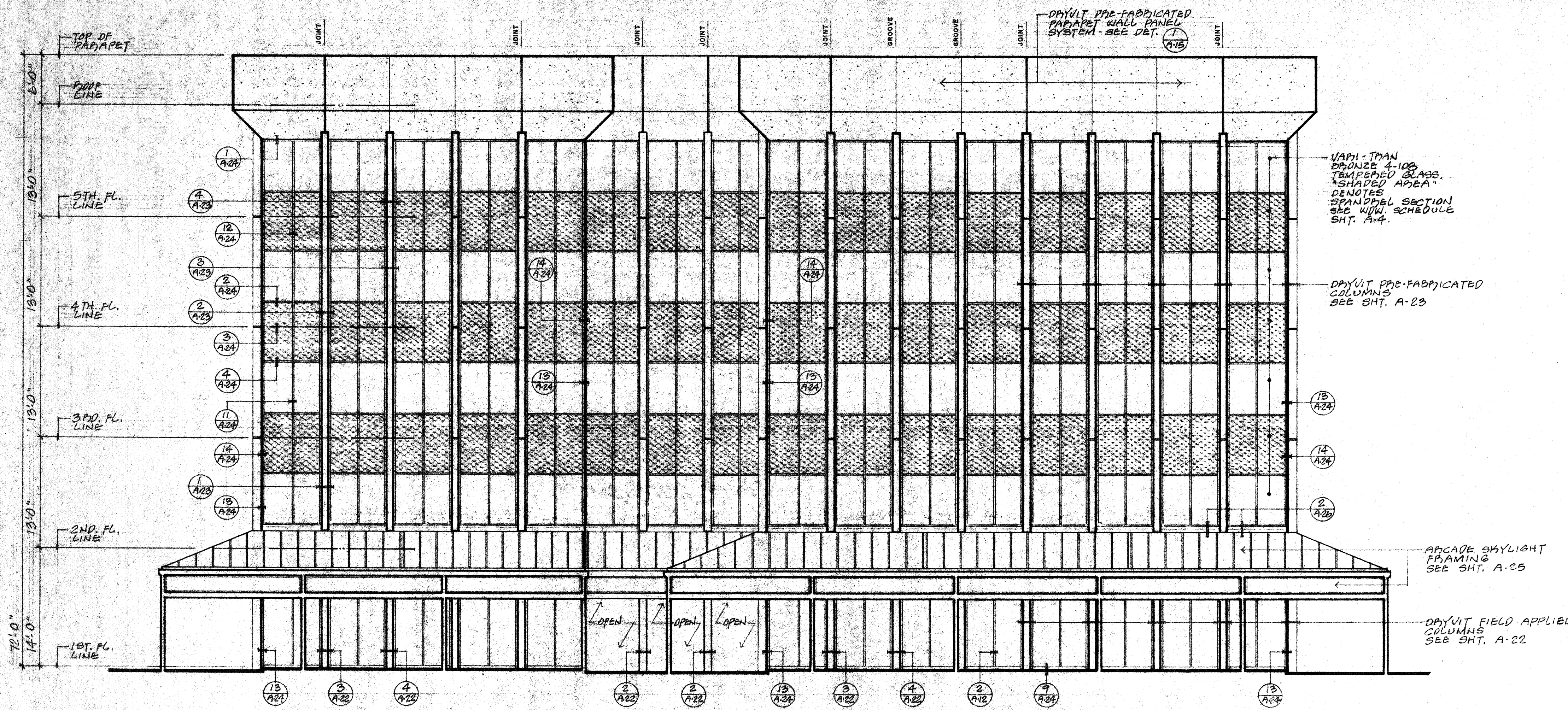
DATE 15 OCTOBER 1981

THE WATERFRONT OFFICE TOWERS
stockton downtown redevelopment
weber avenue & lincoln street
stockton, california

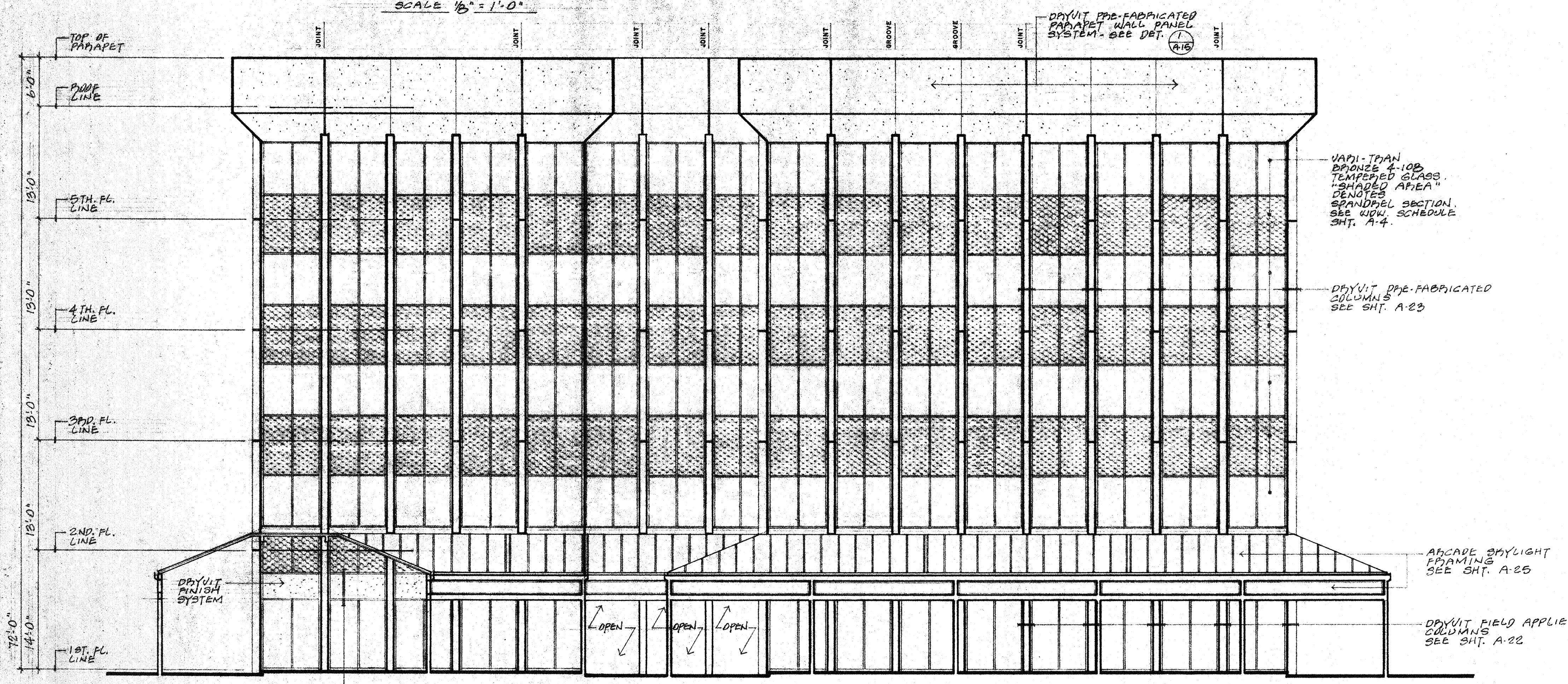
SCHMITZ
DEVELOPMENT, INC.
1000 W. MARKET STREET, SUITE 100
STOCKTON, CALIF. 95207 (208-471-2671)

Lawrence Cook
Architect
AIA 408 353-1500
20091 Old Santa Cruz Highway
Los Gatos, California 95030

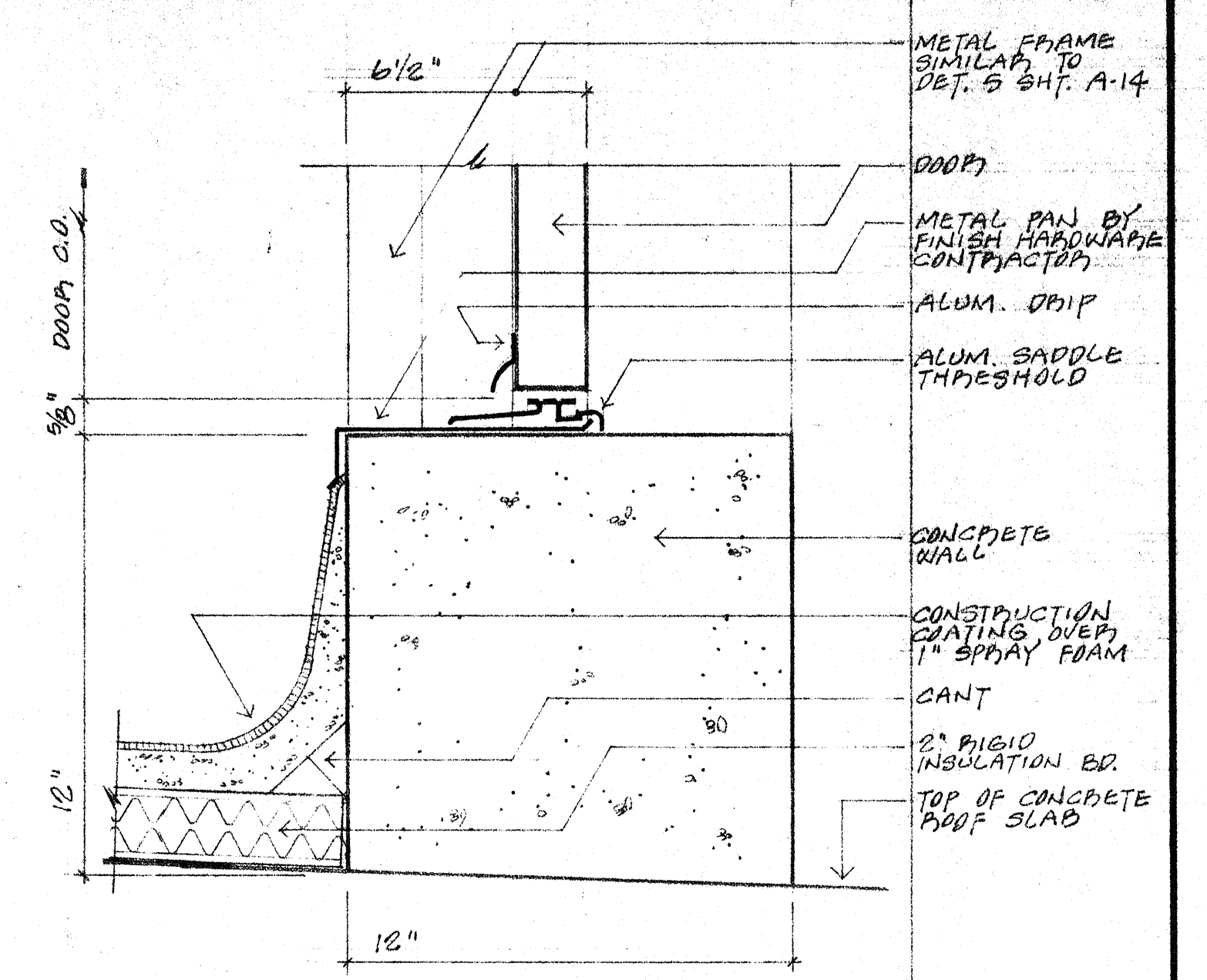




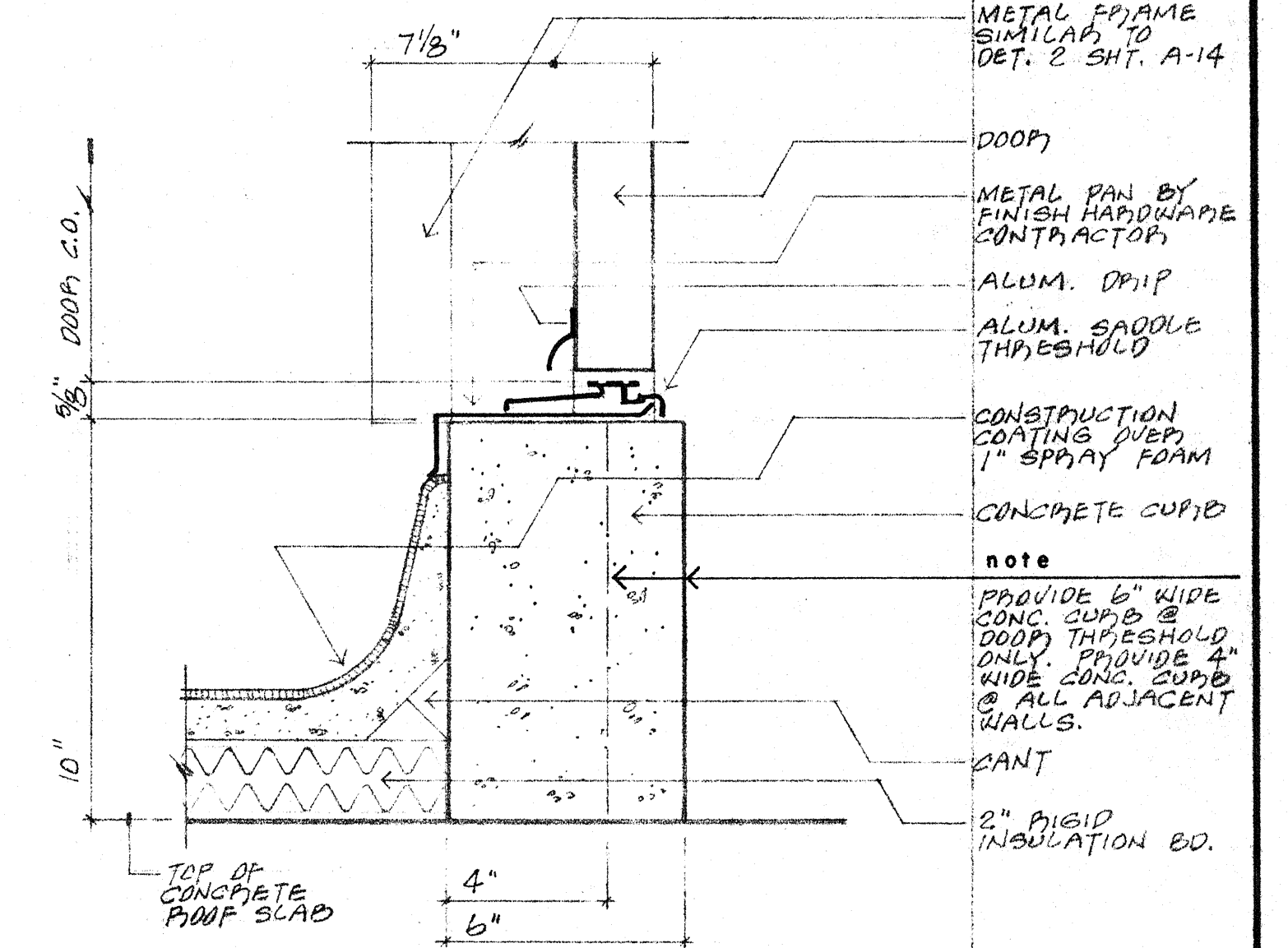
EAST ELEVATION BUILDING I
SCALE 1/8" = 1'-0"



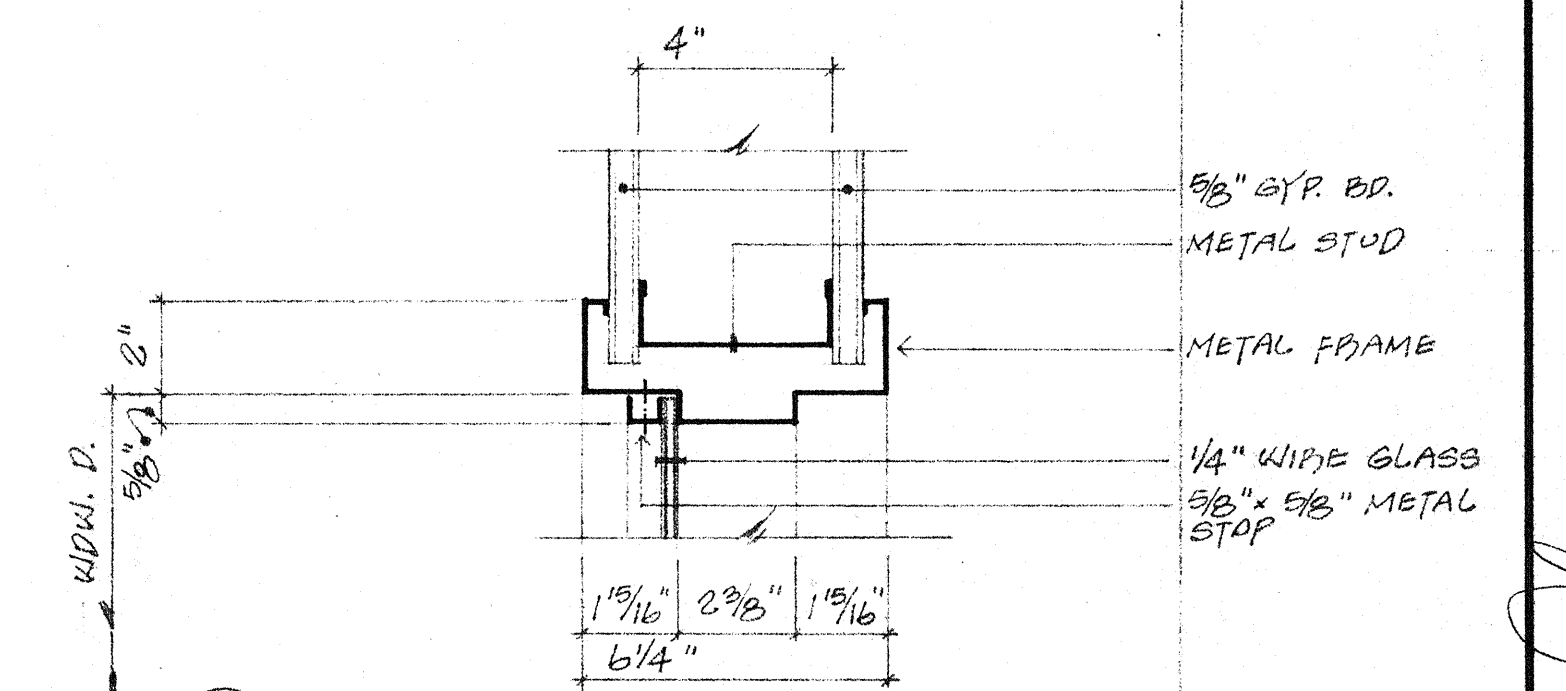
WEST ELEVATION BUILDING I
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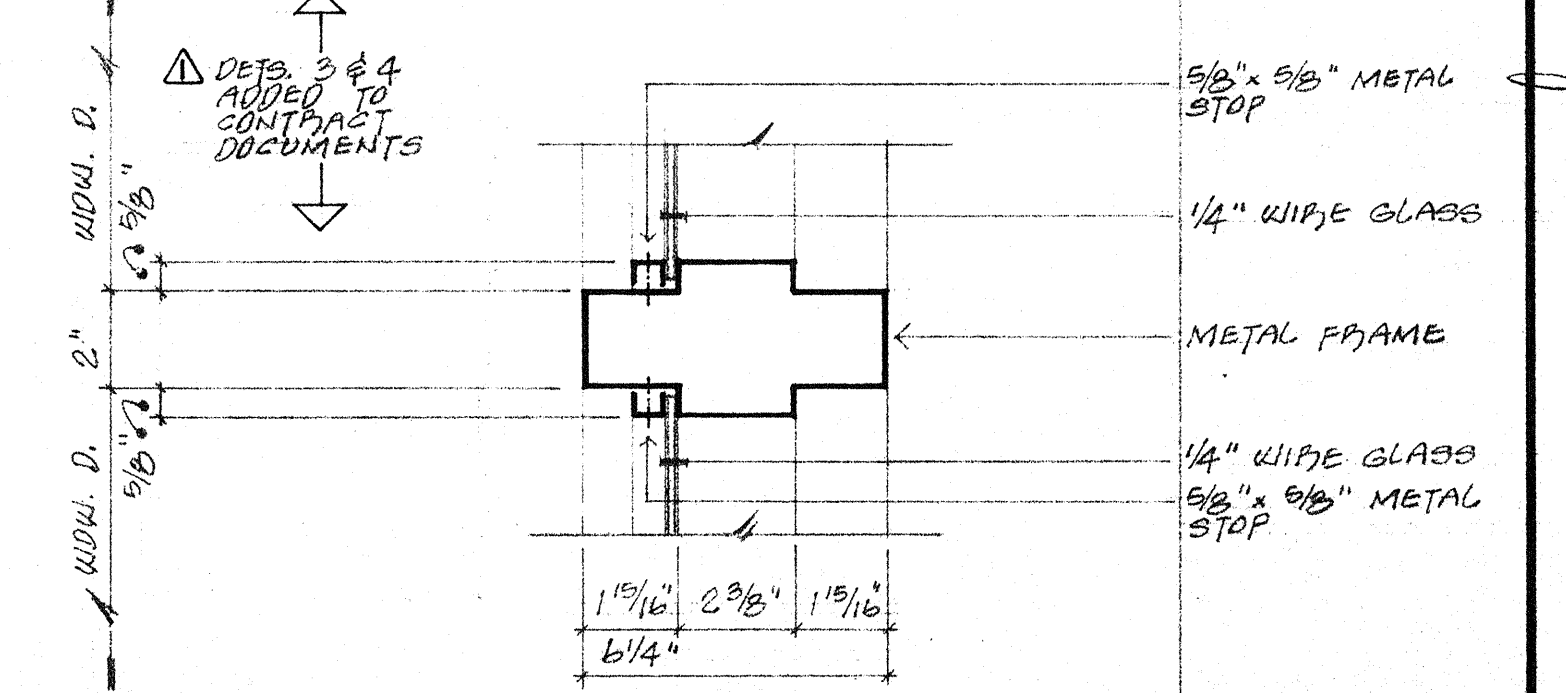
1 THRESHOLD
SCALE 3" = 1'-0"



2 THRESHOLD
SCALE 3" = 1'-0"



3 HEAD (JAMB & SILL SIM.)
SCALE 3" = 1'-0"



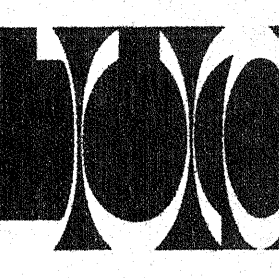
4 MULLION
SCALE 3" = 1'-0"

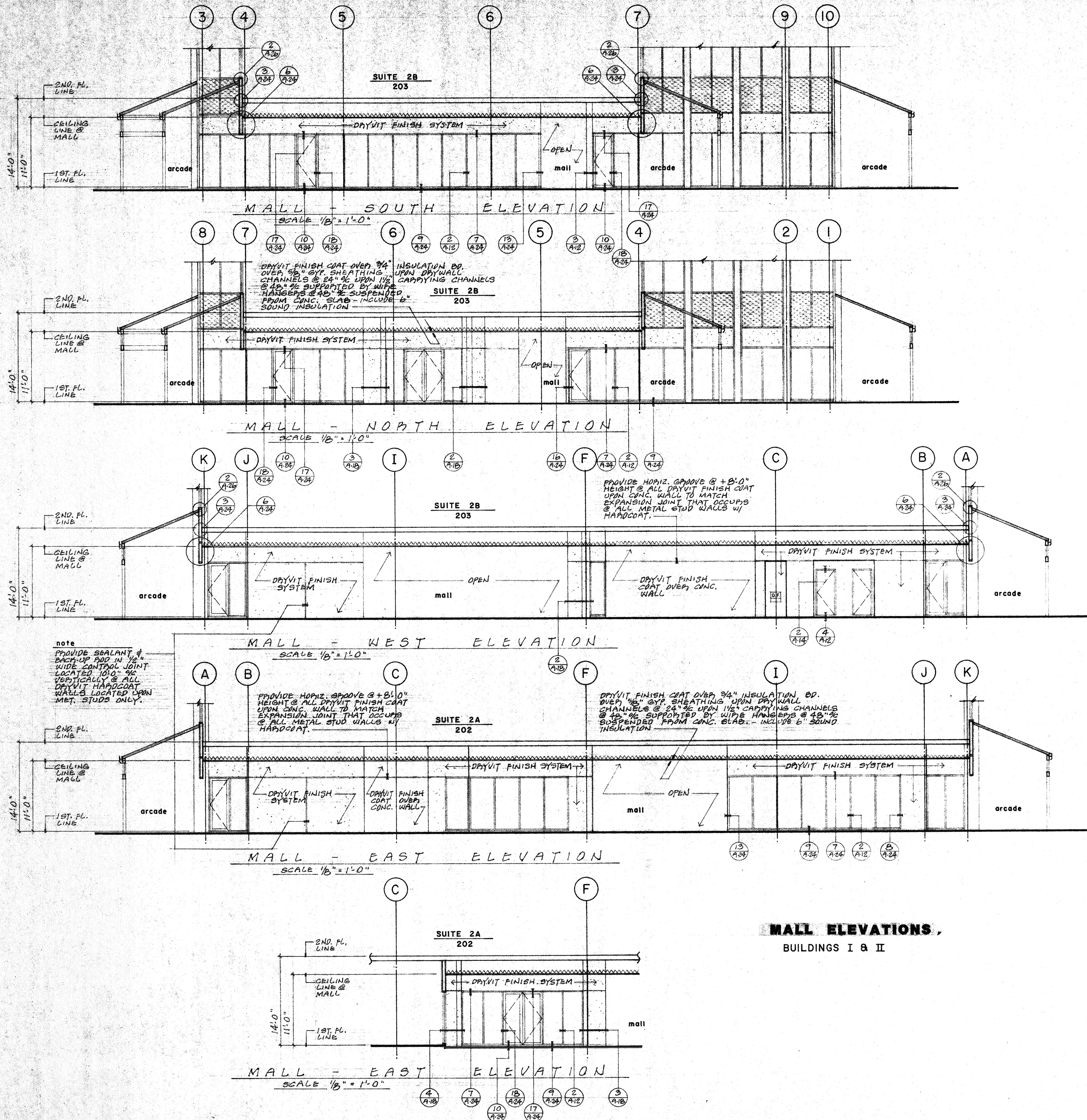
DATE 15 OCTOBER 1981
15 OCTOBER 1981
7 JAN 1982

THE WATERFRONT OFFICE TOWERS
stockton downtown redevelopment
weber avenue & lincoln street
stockton, california

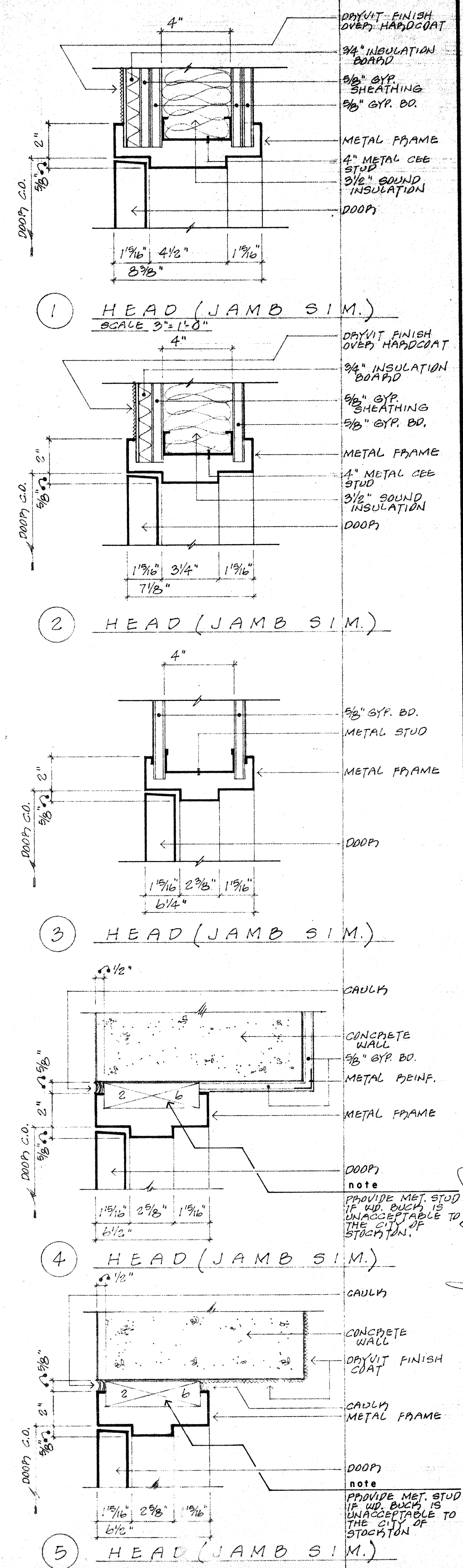
SCHMITZ
ARCHITECTS
1000 MARKET STREET
SAN FRANCISCO, CALIFORNIA 94102
TELEPHONE 415-398-1000

Lawrence Cook
Architect
AIA
20091 Old Santa Cruz Highway
Los Gatos California 95030
408 353-1500





MALL ELEVATIONS,
BUILDINGS I & II



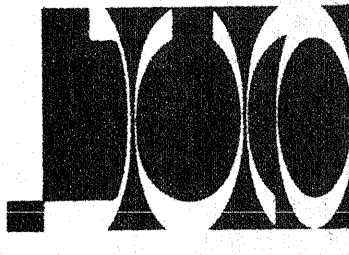
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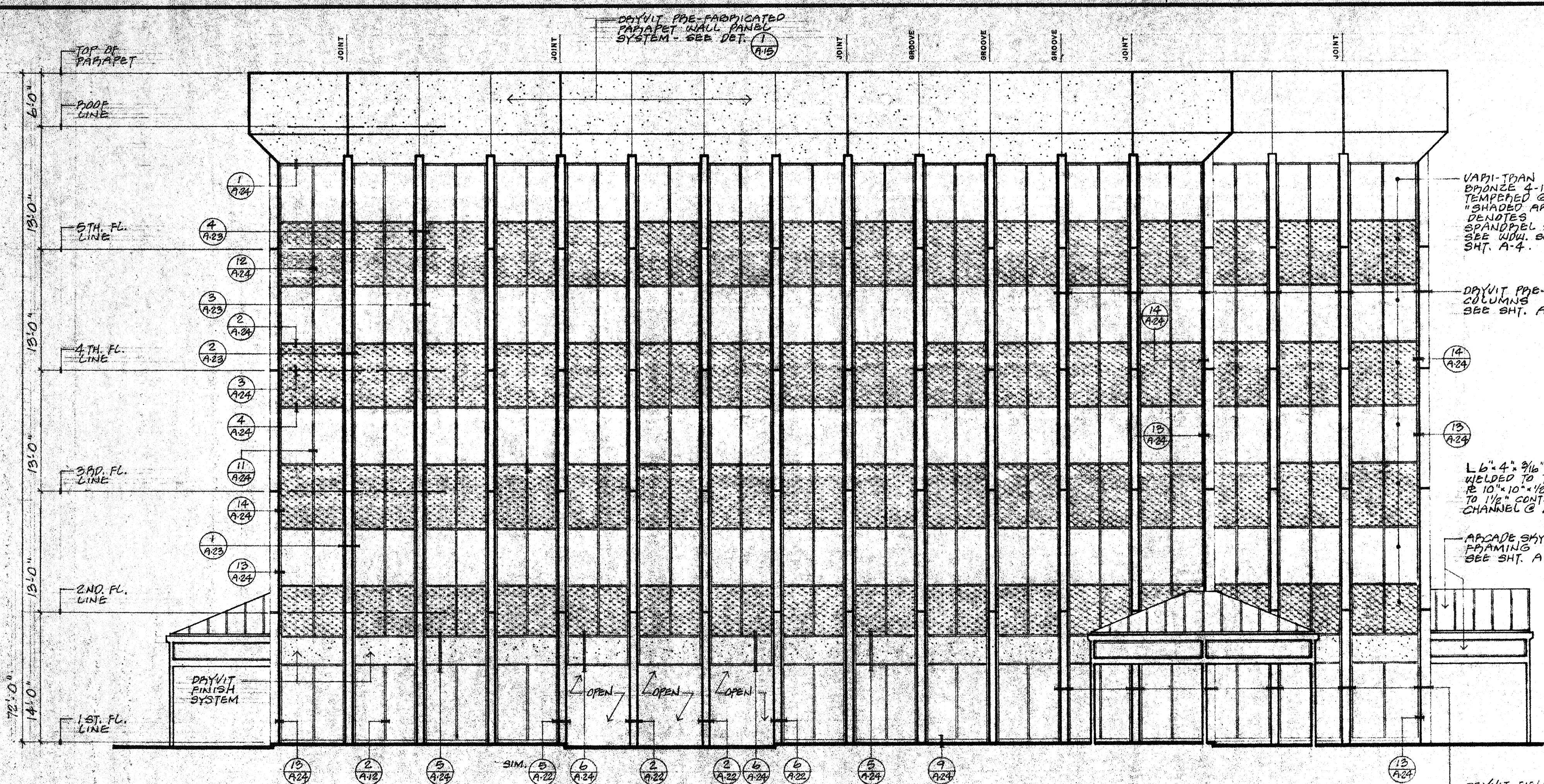
DATE 10 OCTOBER 1981

THE WATERFRONT OFFICE TOWERS
stockton downtown redevelopment
weber avenue & lincoln street
stockton, california

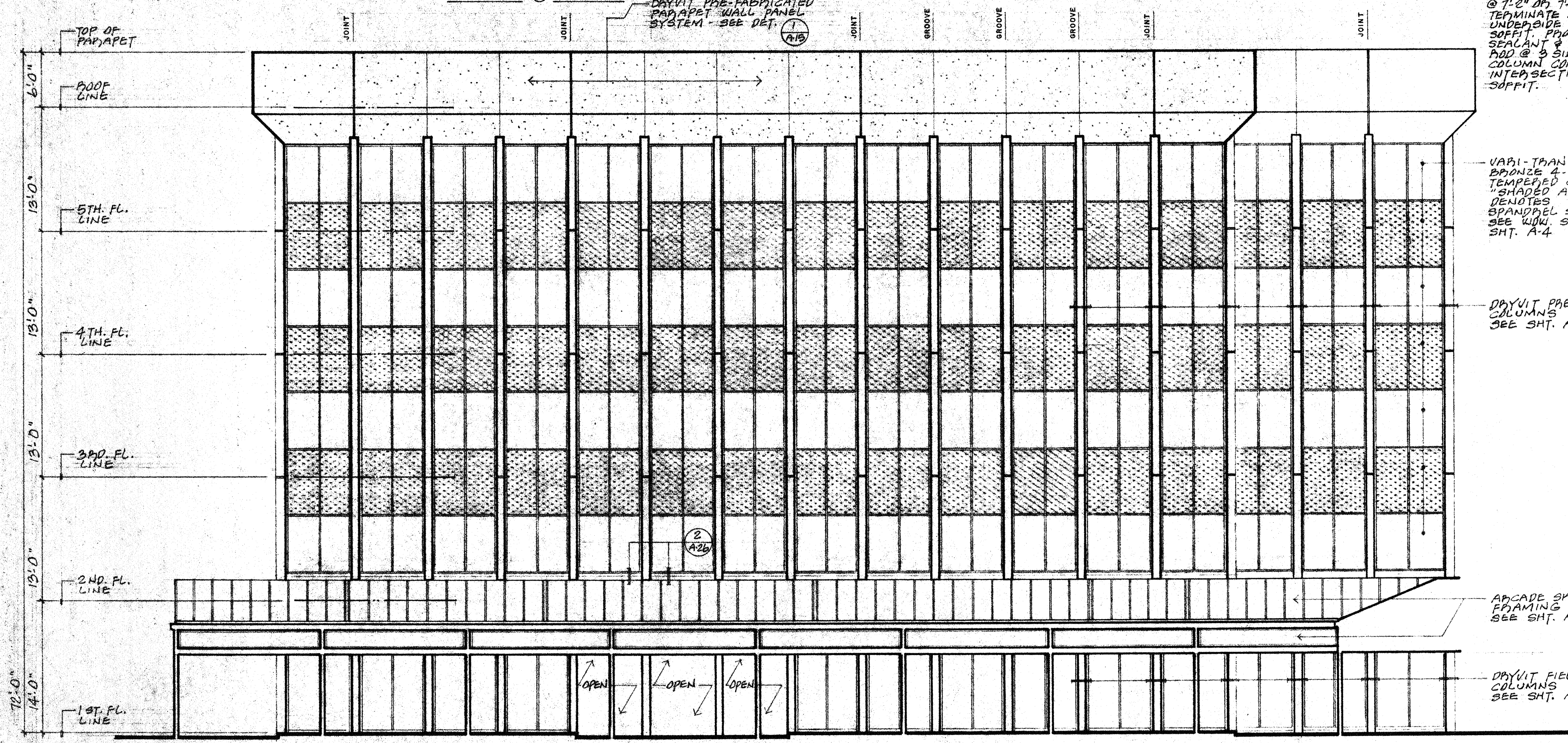
SCHMITZ
DEVELOPMENT INC
1000 W. MAIN ST. SUITE 204
STOCKTON, CALIF. 95204

Lawrence Cook
Architect
AIA
408 353-1500
20091 Old Santa Cruz Highway
Los Gatos California 95030

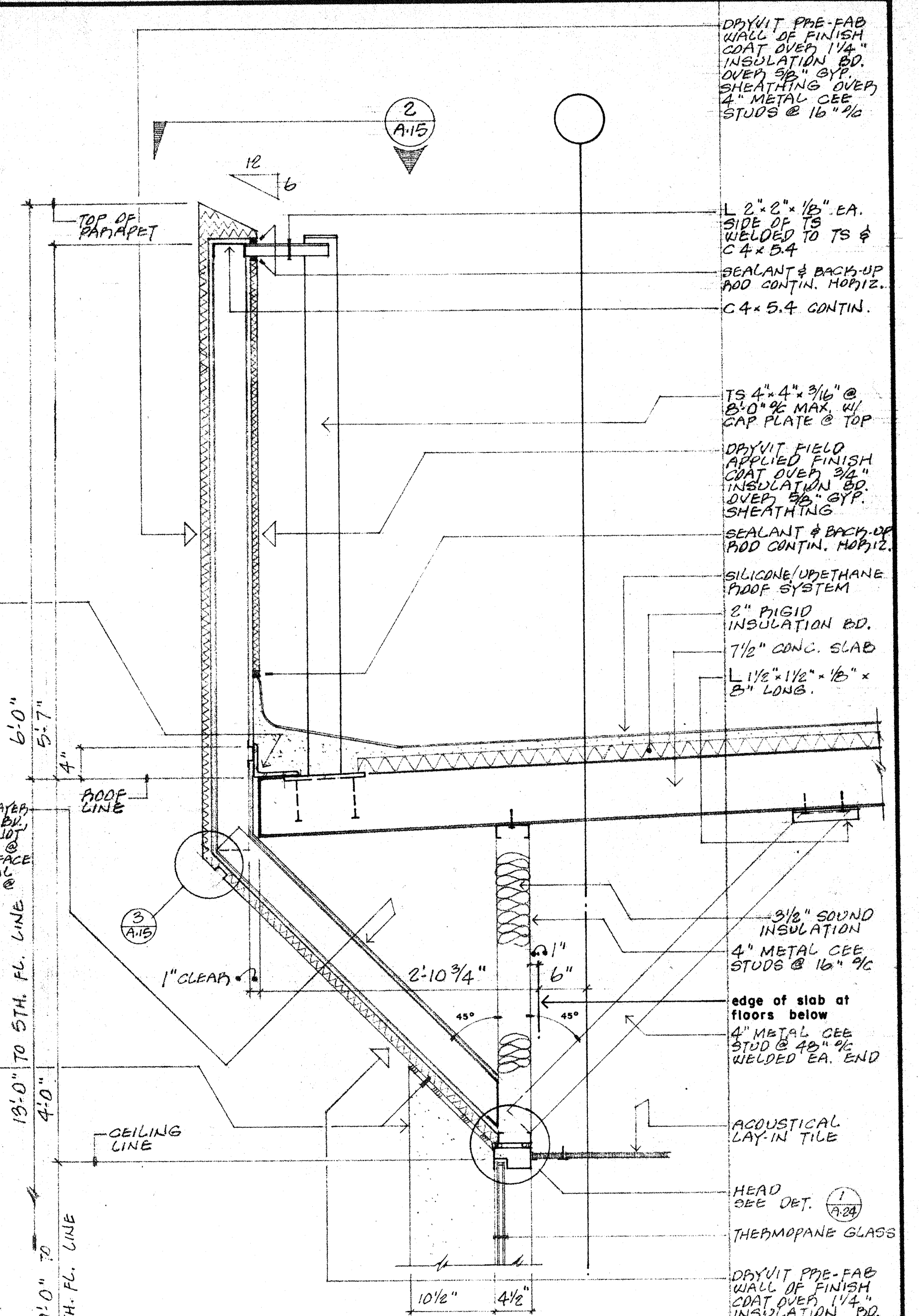




NORTH ELEVATION BUILDING II
SCALE 1/8" = 1'-0"



SOUTH ELEVATION BUILDING II
SCALE 1/8" = 1'-0"



1 PARAPET DET.
SCALE 1" = 1'-0"

2 PLAN - JOINT DET.
SCALE 1" = 1'-0"

3 DRIP DET.
SCALE 3" = 1'-0"

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DATE 15 OCTOBER 1981
DESIGNED BY LAWRENCE COOK ARCHITECTS
REVISED 7 JANUARY 1982

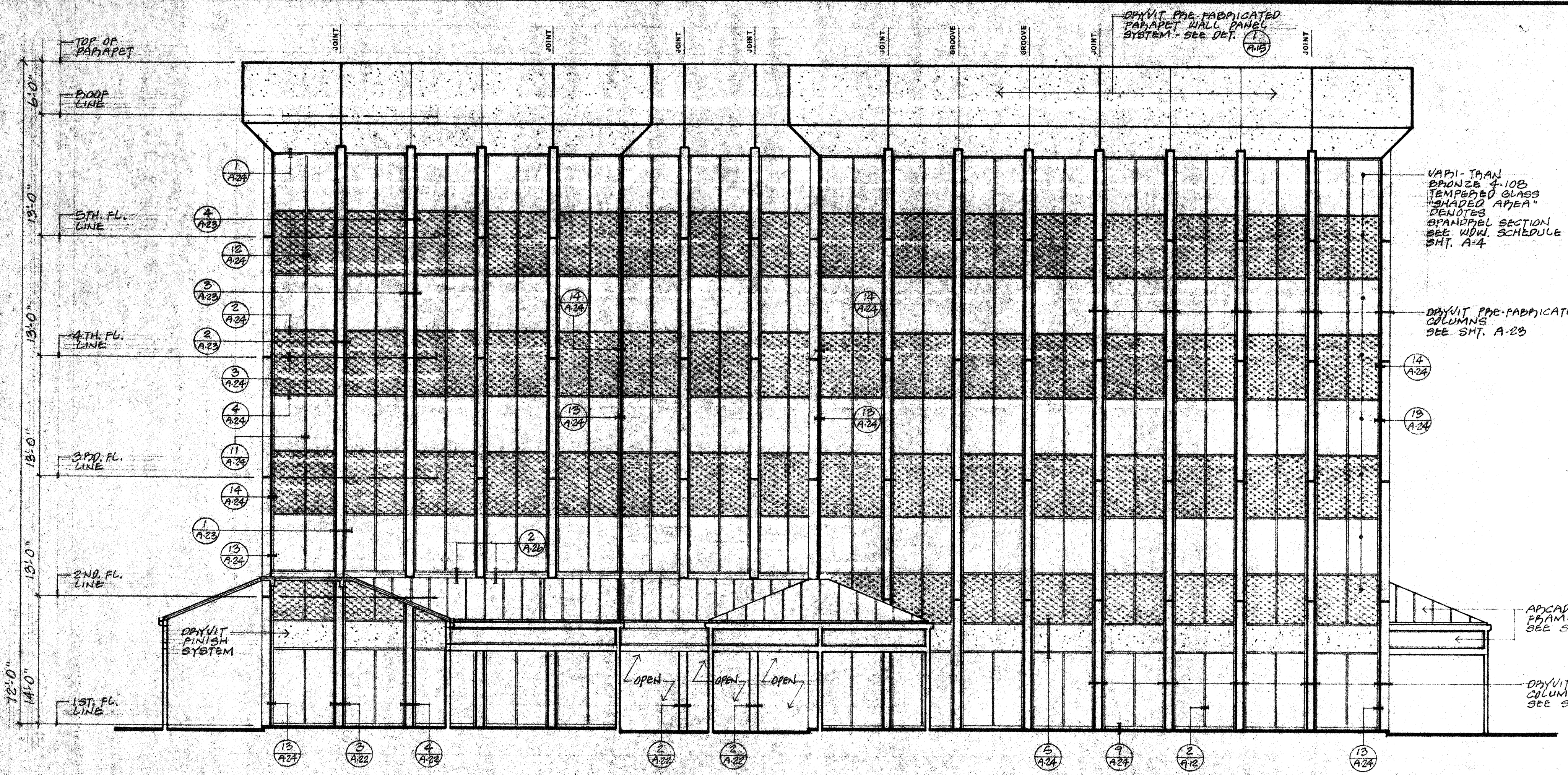
THE WATERFRONT OFFICE TOWERS
stockton downtown redevelopment
weber avenue & lincoln street
stockton, california

SCHMITZ
DEVELOPMENT GROUP
3000 MARKET STREET, SUITE 101
STOCKTON, CALIFORNIA 95210

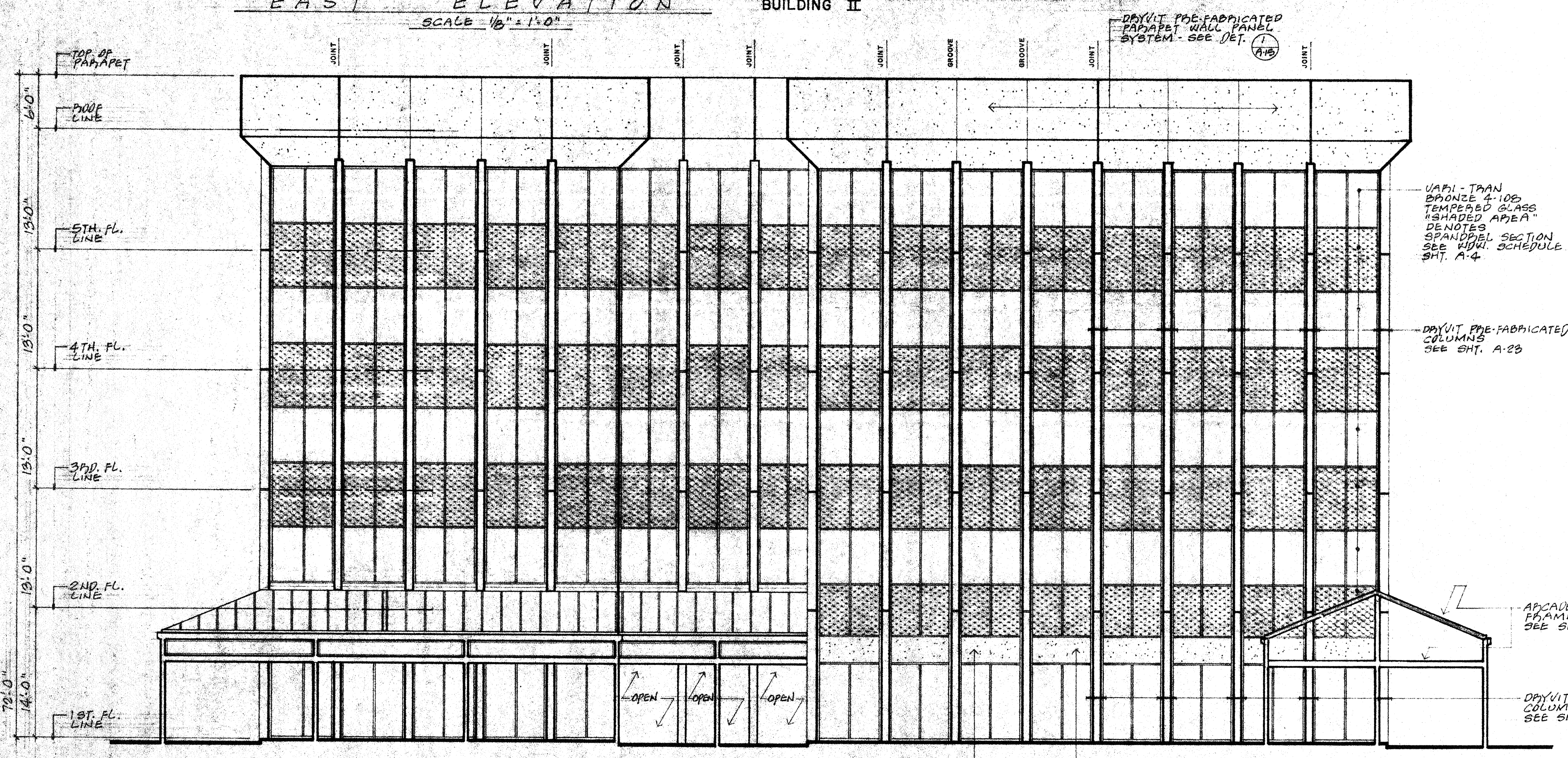
Lawrence Cook
Architect AIA
408 353-1500
20091 Old Santa Cruz Highway
Los Gatos California 95030



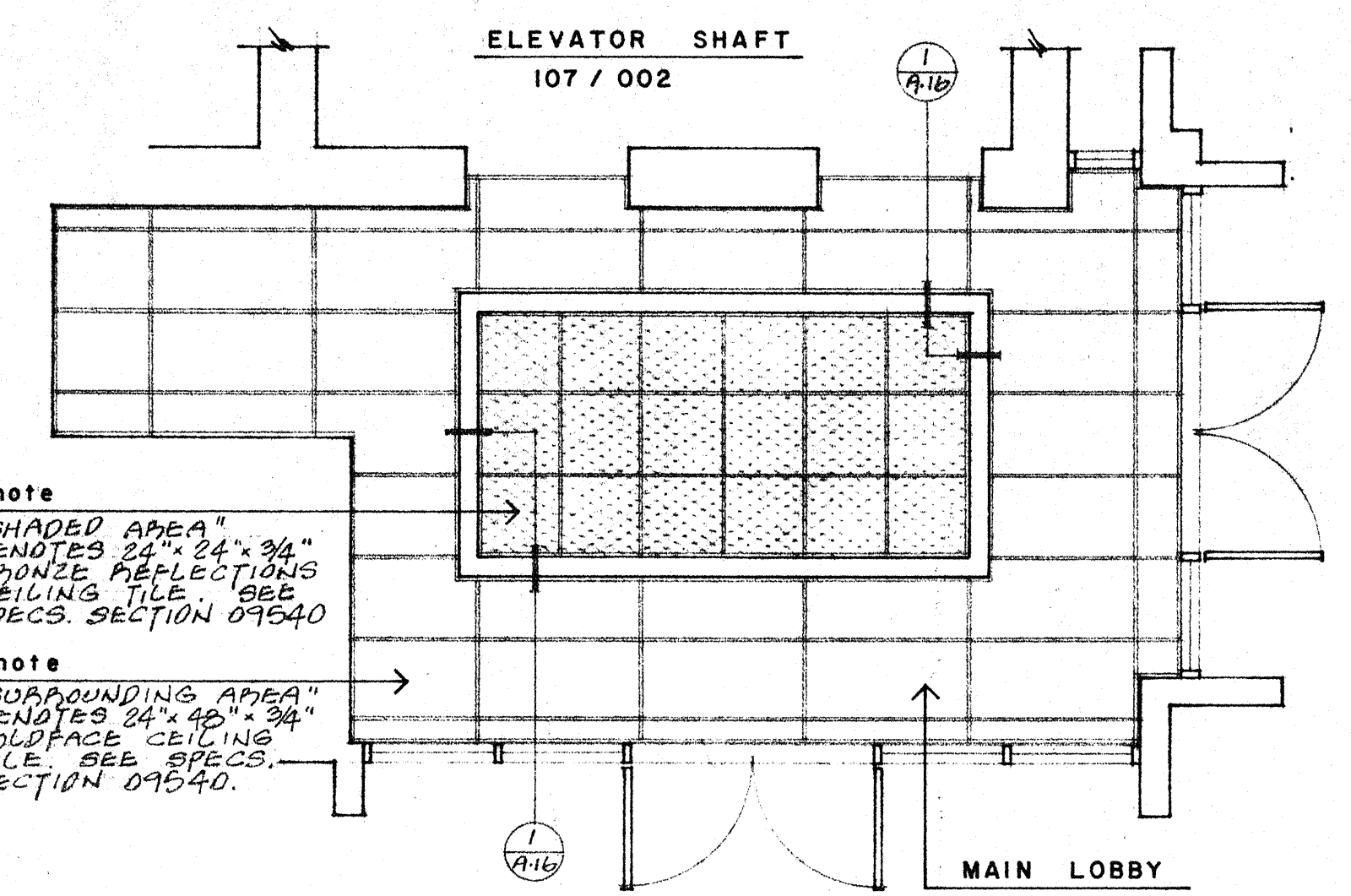
A-15



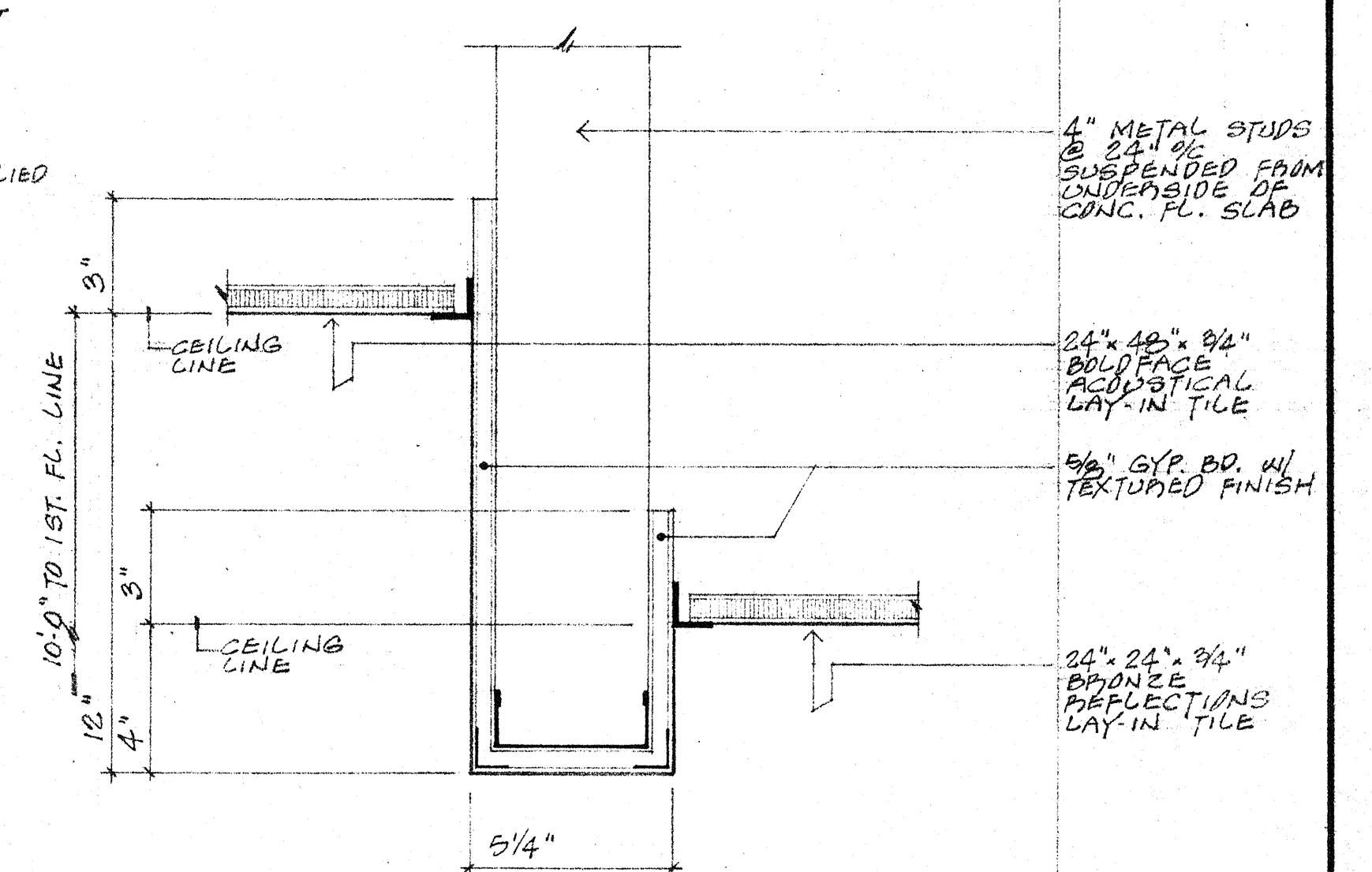
EAST ELEVATION BUILDING II
SCALE 1/8" = 1'-0"



WEST ELEVATION BUILDING II
SCALE 1/8" = 1'-0"



REFLECTIVE CEILING PLAN
SCALE 1/4" = 1'-0"



1 CEILING DET.
SCALE 3" = 1'-0"

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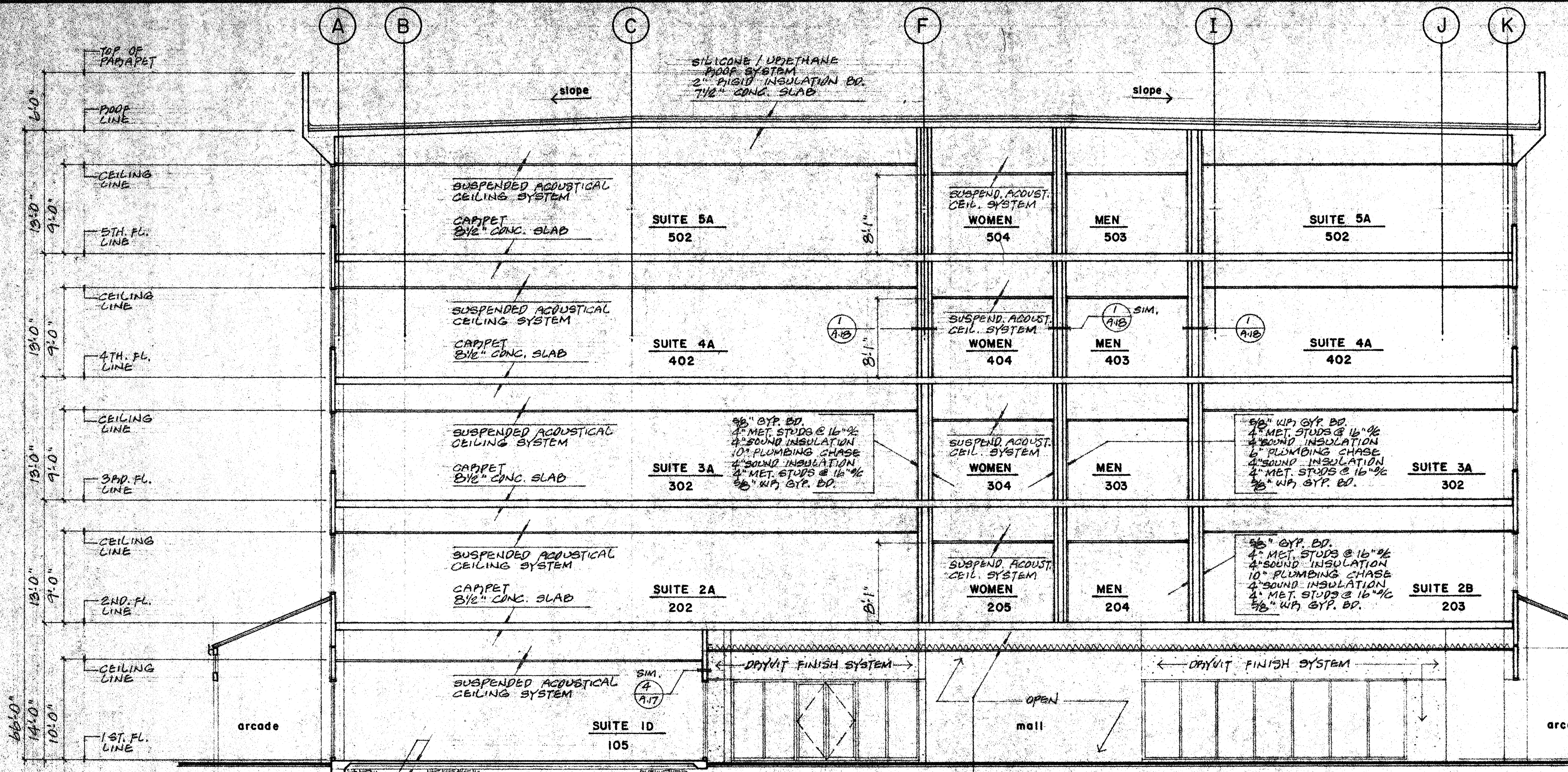
DATE 15 OCTOBER 1981

THE WATERFRONT OFFICE TOWERS
stockton downtown redevelopment
weber avenue & lincoln street
stockton, california

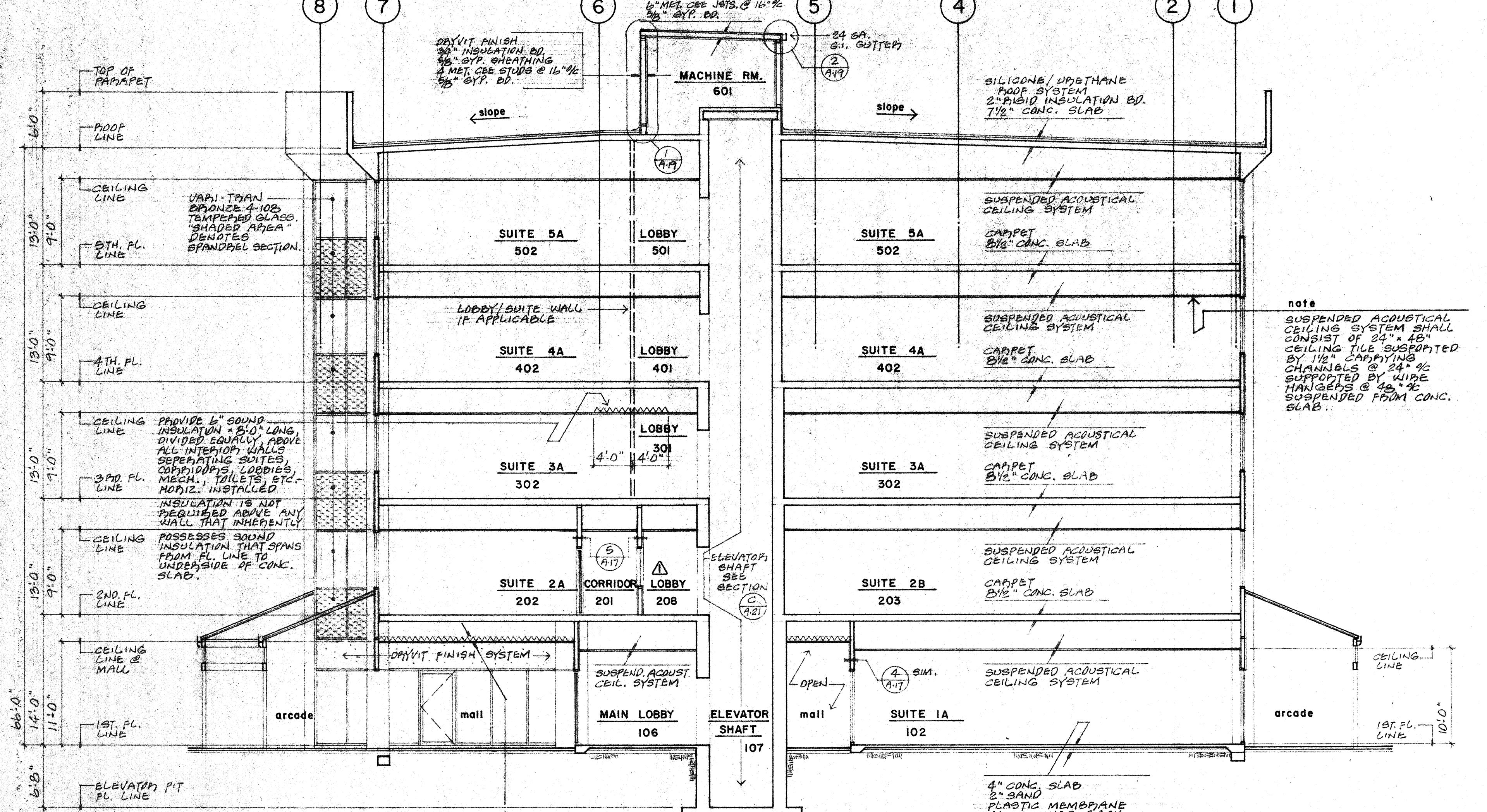
SCHMITZ DEVELOPMENT INC.
COMMUNITY DEVELOPERS
1000 N. GATEWAY
STOCKTON, CA 95207 (209) 477-5811

Lawrence J. Cook
Lawrence Cook
Architect AIA
408 353-1500
20091 Old Santa Cruz Highway
Los Gatos, California 95030

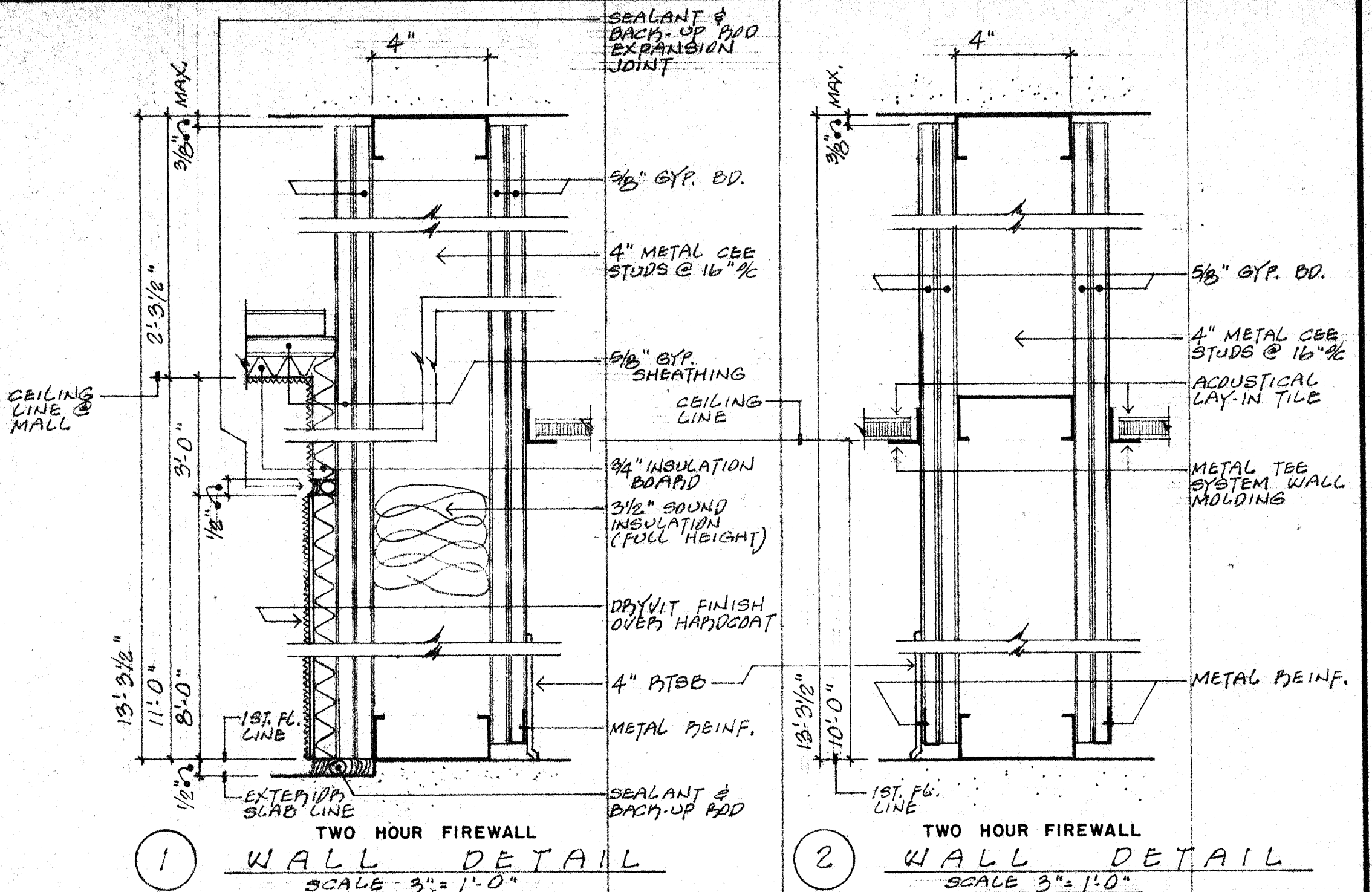




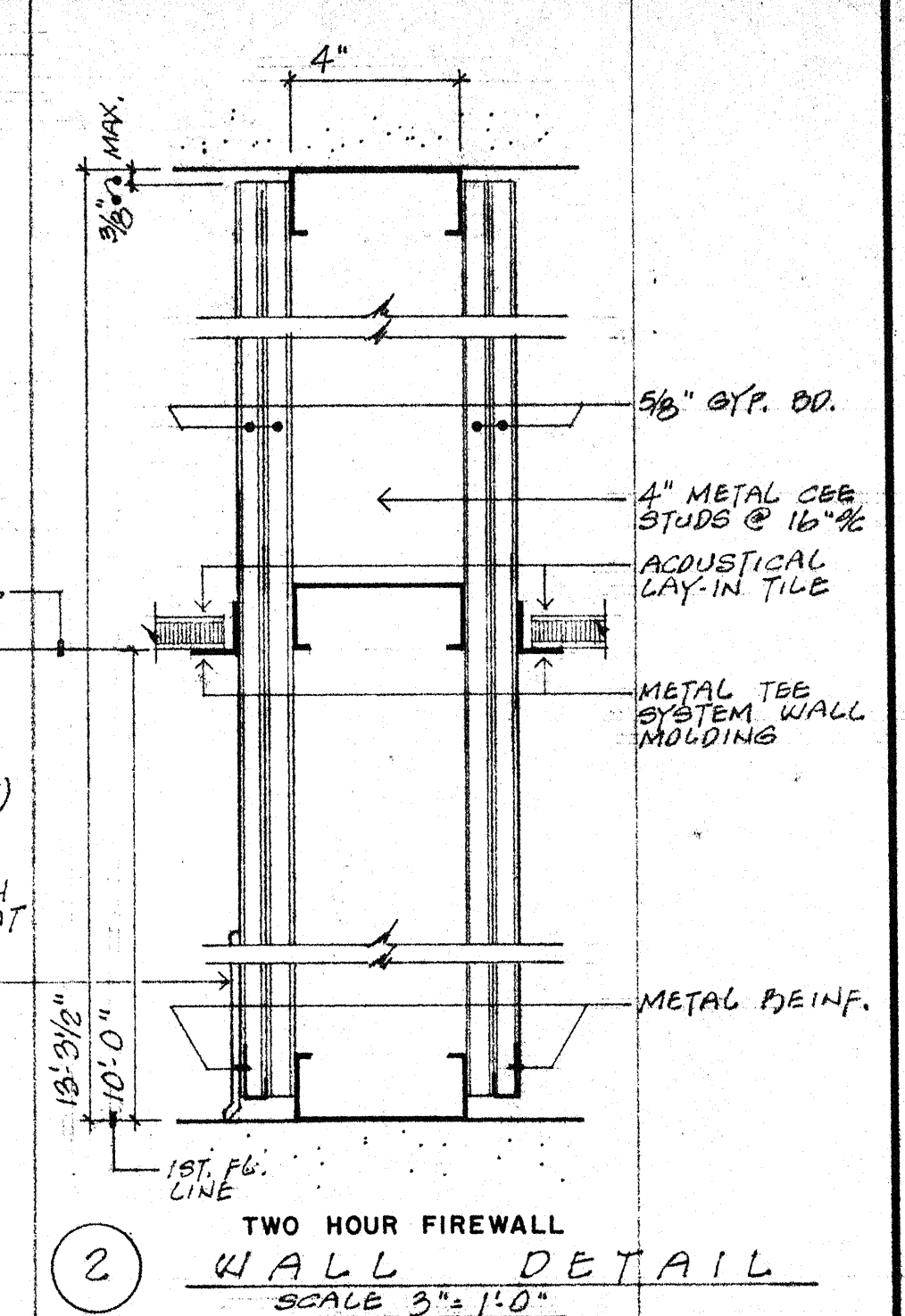
SECTION A SCALE 1/8" = 1'-0"



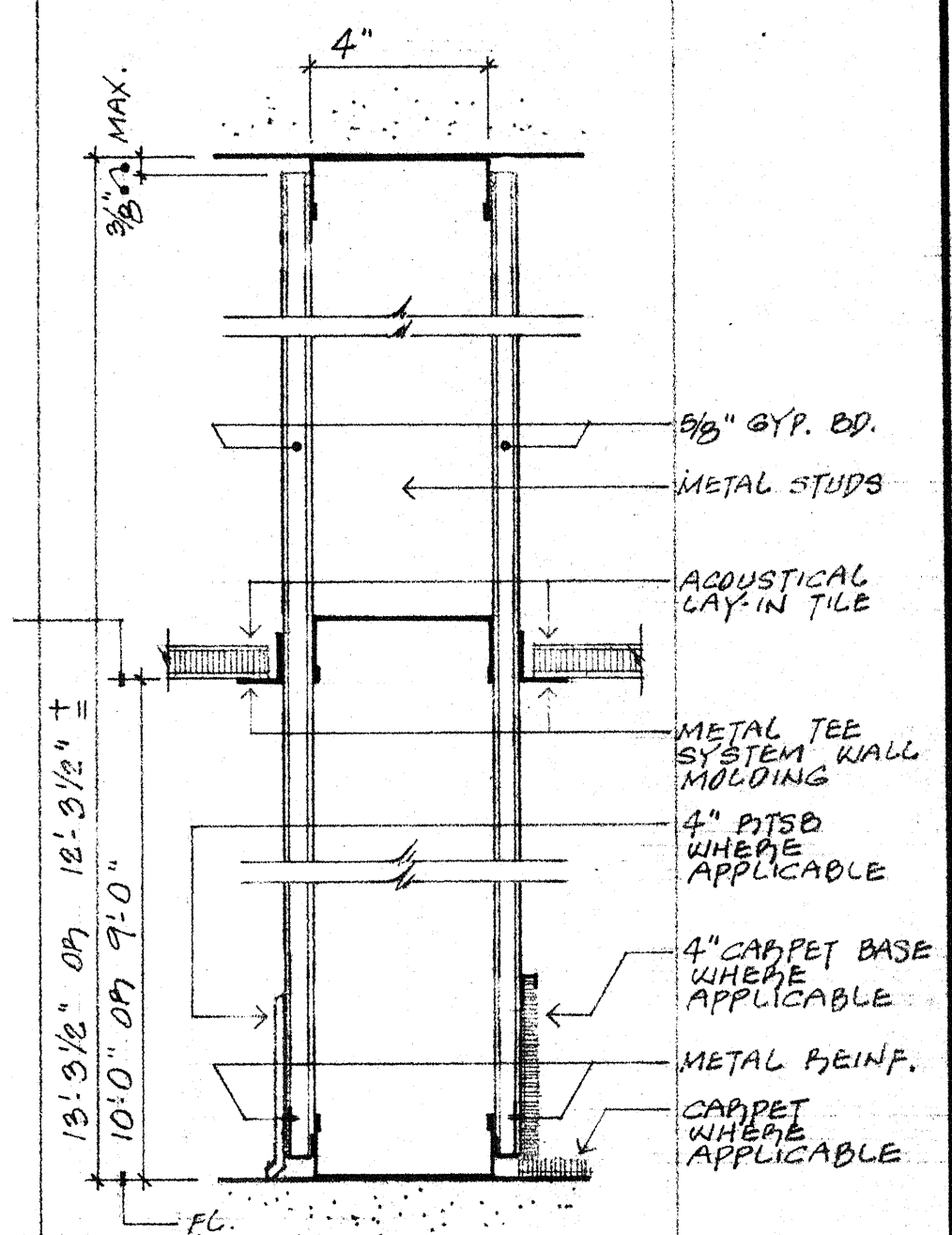
SECTION B SCALE 1/8" = 1'-0"



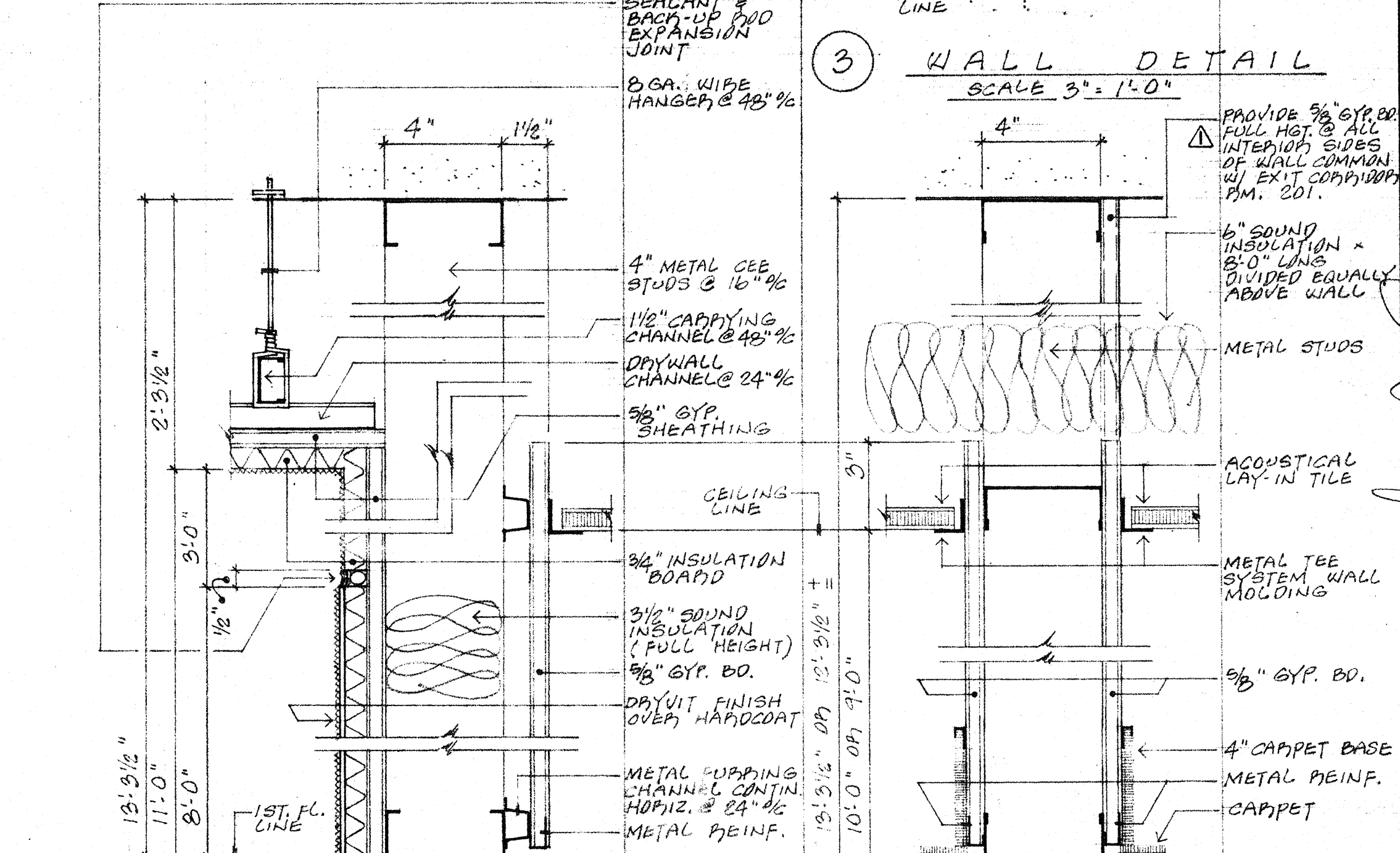
1 TWO HOUR FIREWALL WALL DETAIL SCALE 3/4" = 1'-0"



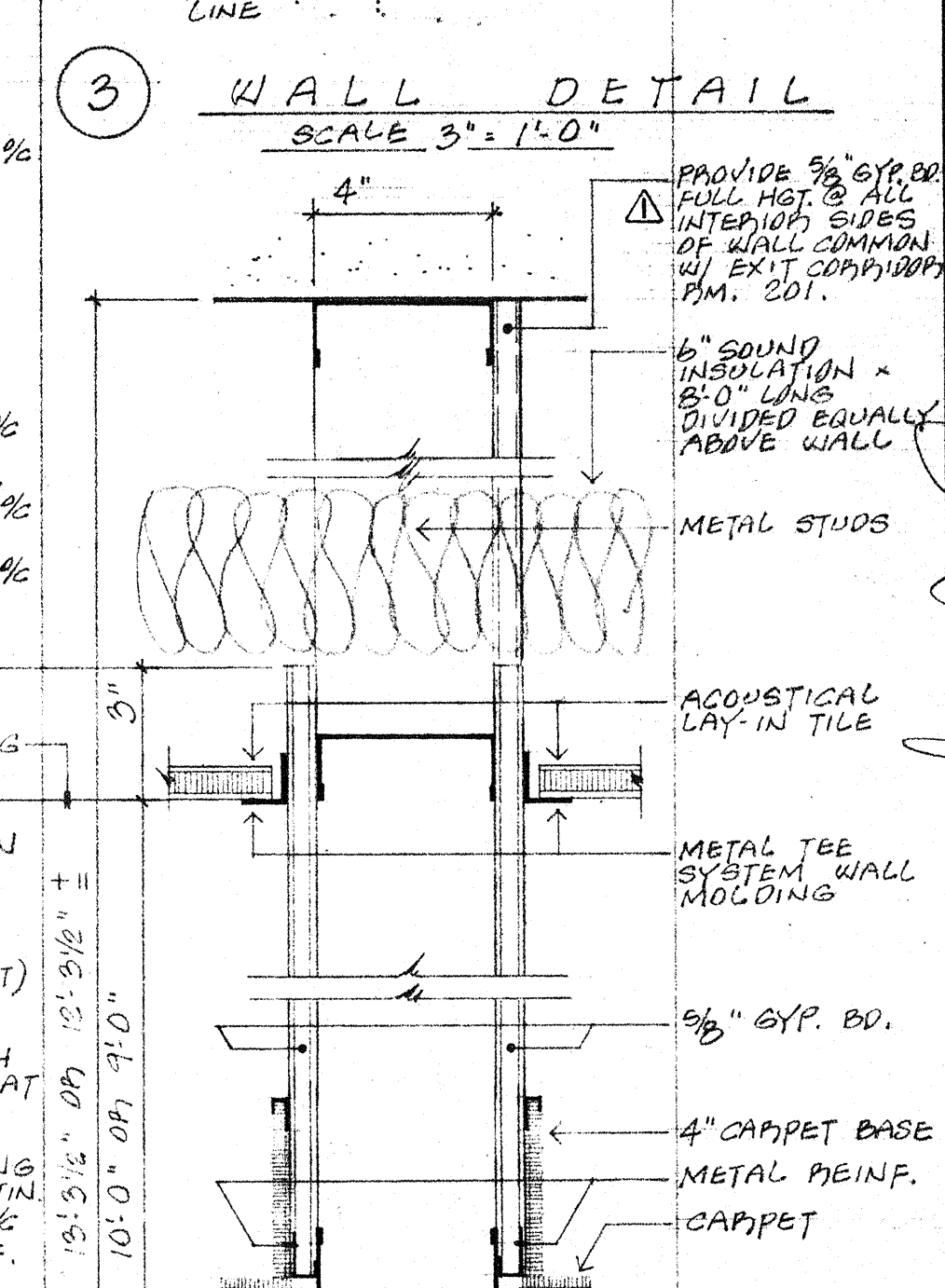
2 TWO HOUR FIREWALL WALL DETAIL SCALE 3/4" = 1'-0"



3 WALL DETAIL SCALE 3/4" = 1'-0"



4 WALL DETAIL



5 WALL DETAIL

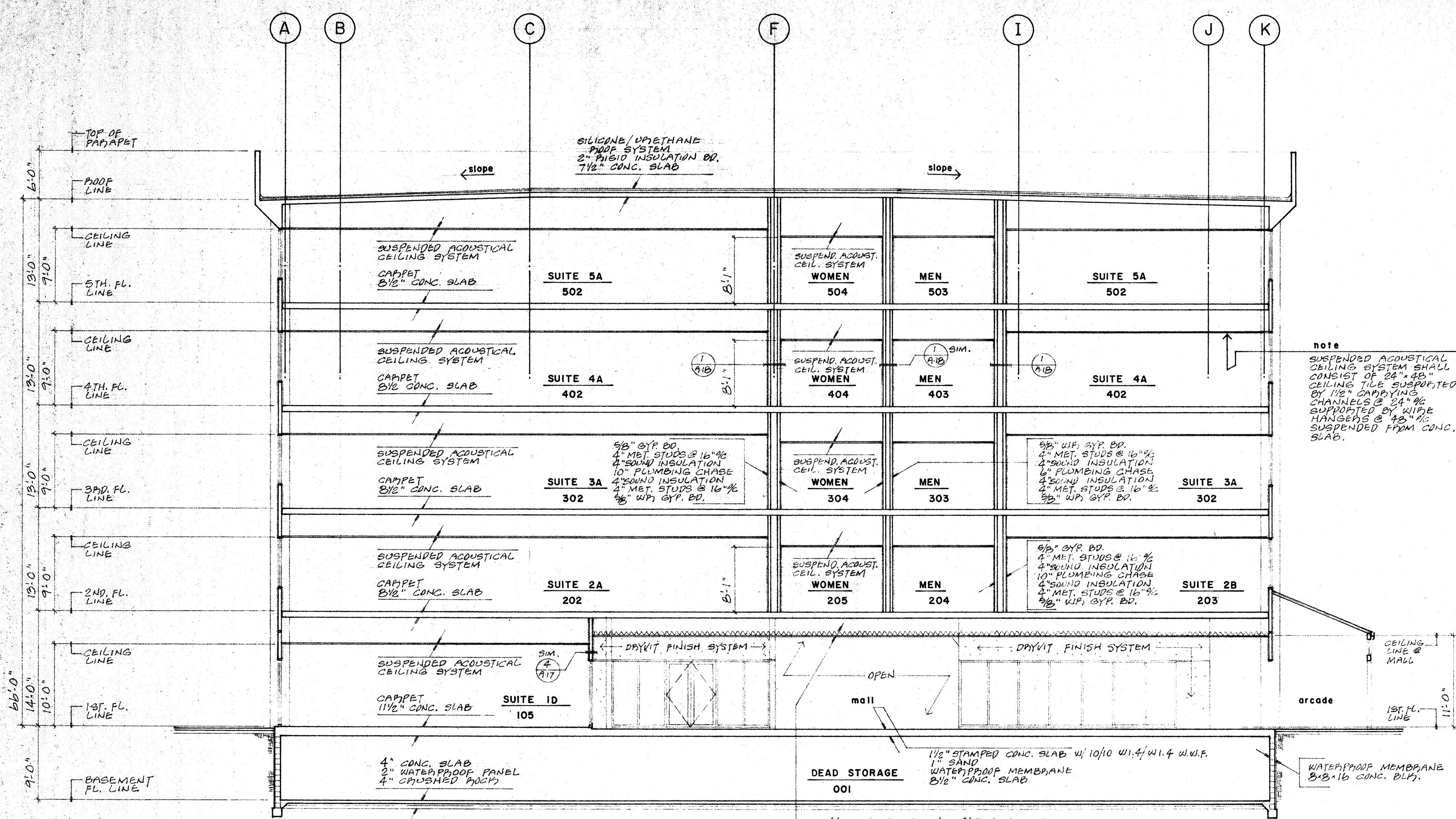
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 REVIEWED: 7 JAN. 1982

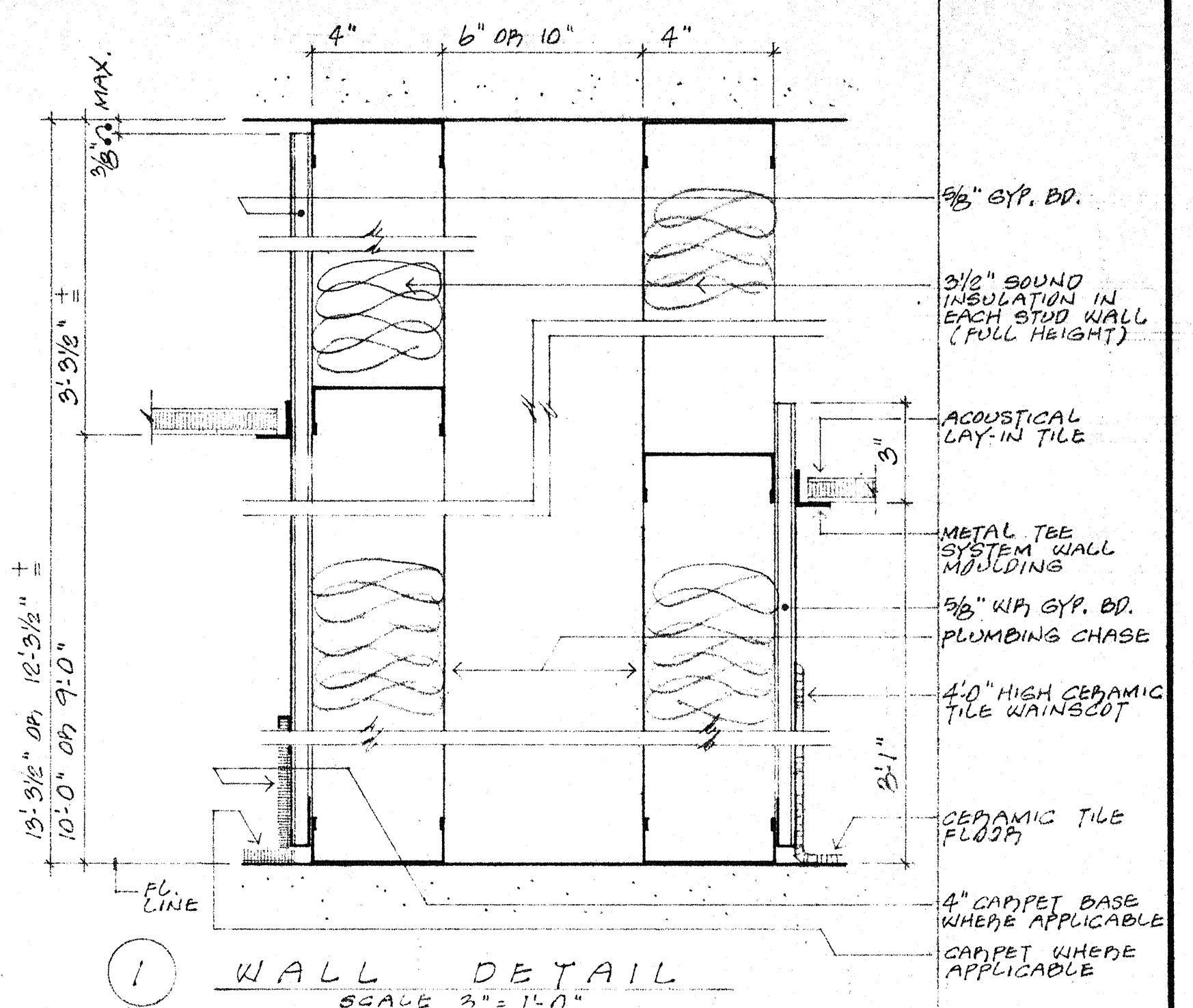
THE WATERFRONT OFFICE TOWERS
 stockton downtown redevelopment
 webber avenue & lincoln street
 stockton, california

ARCHITECT: LAWRENCE COOK ARCHITECT AIA
 20091 Old Santa Cruz Highway
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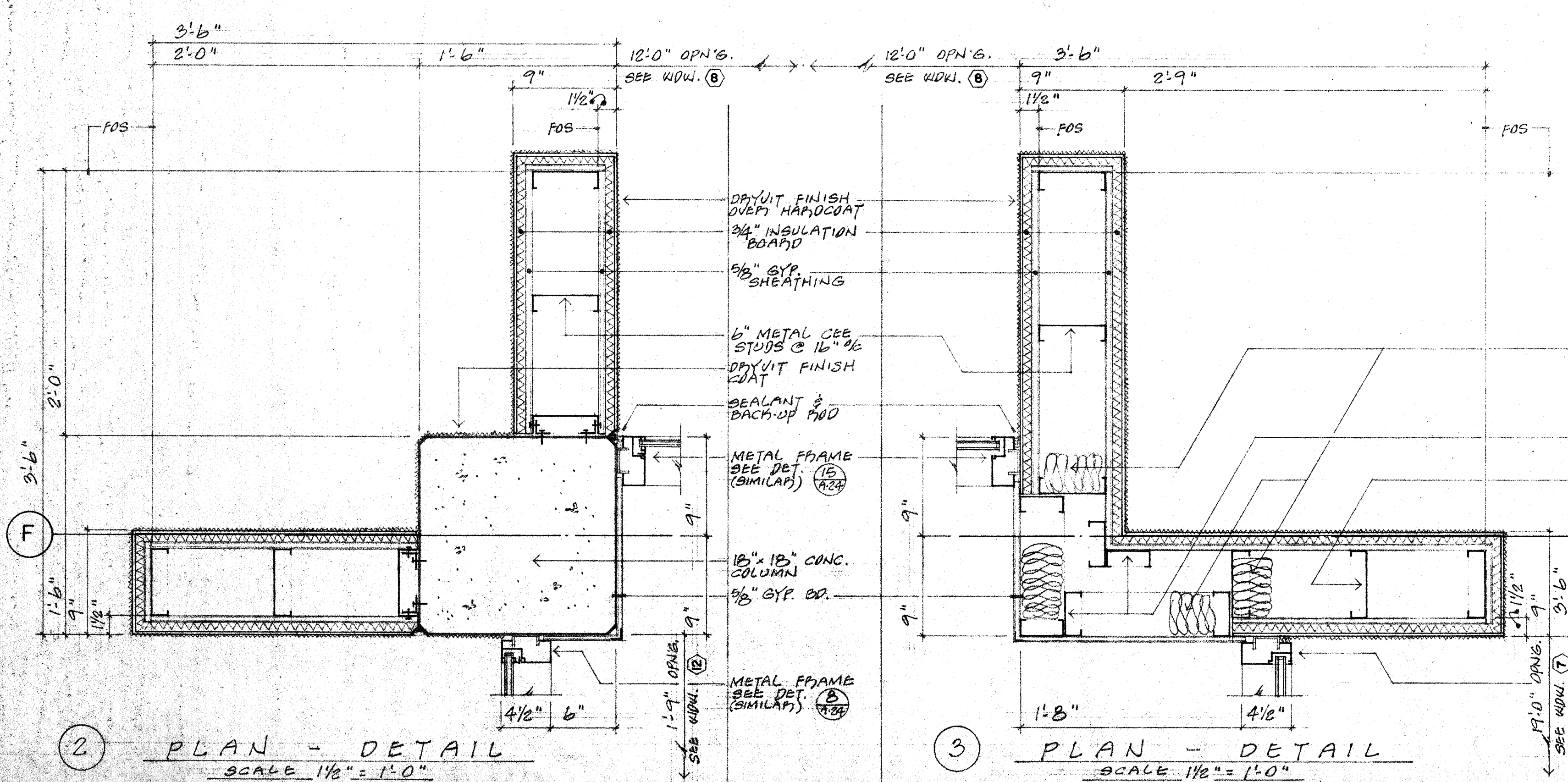
408 353-1500



SECTION A BUILDING II
SCALE 1/8" = 1'-0"

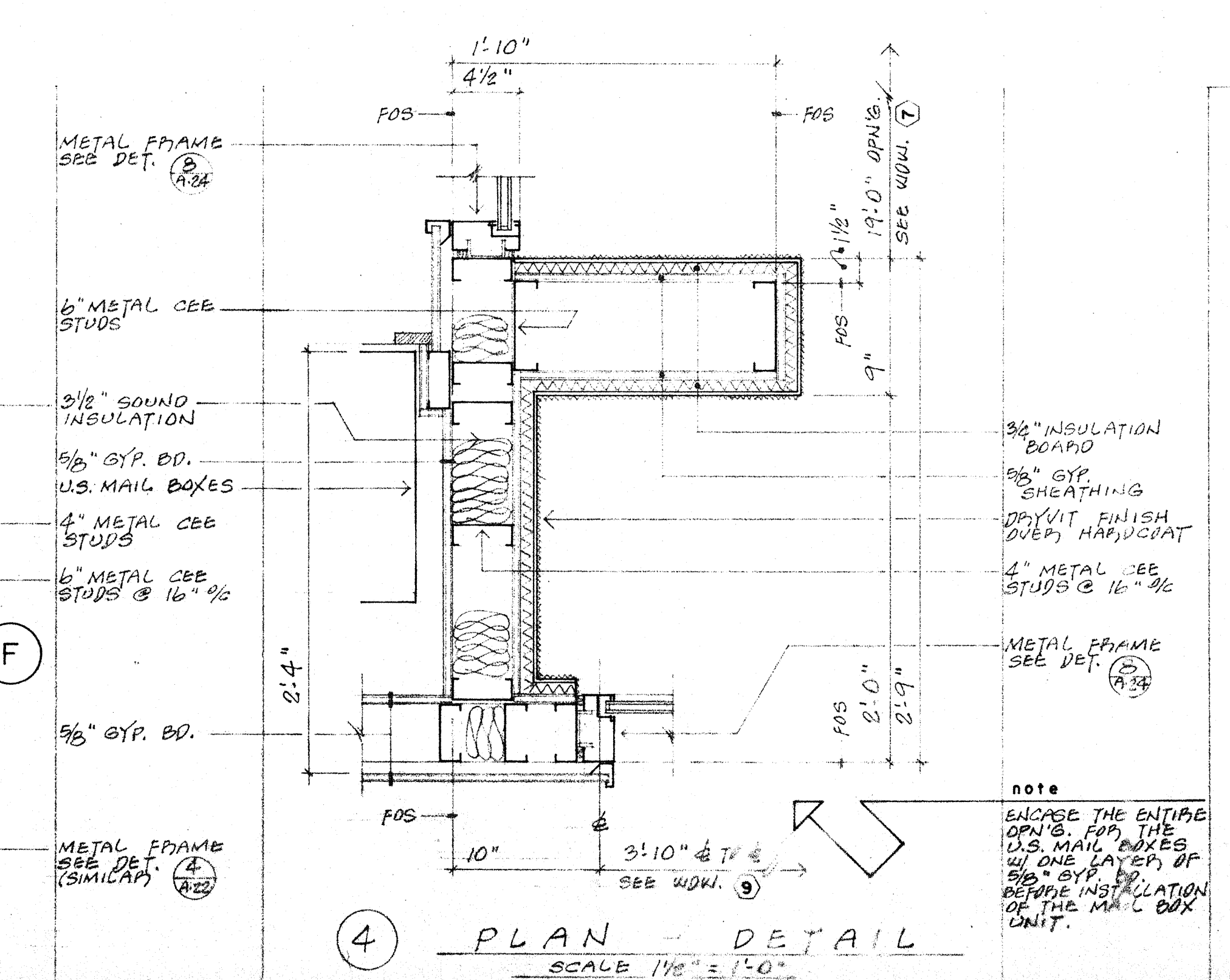


WALL DETAIL
SCALE 3" = 1'-0"



PLAN - DETAIL
SCALE 1/8" = 1'-0"

PLAN - DETAIL
SCALE 1/8" = 1'-0"



PLAN - DETAIL
SCALE 1/8" = 1'-0"

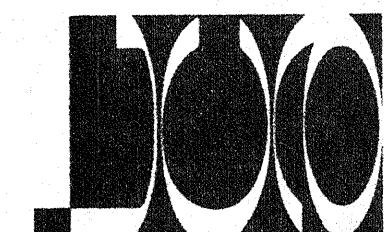
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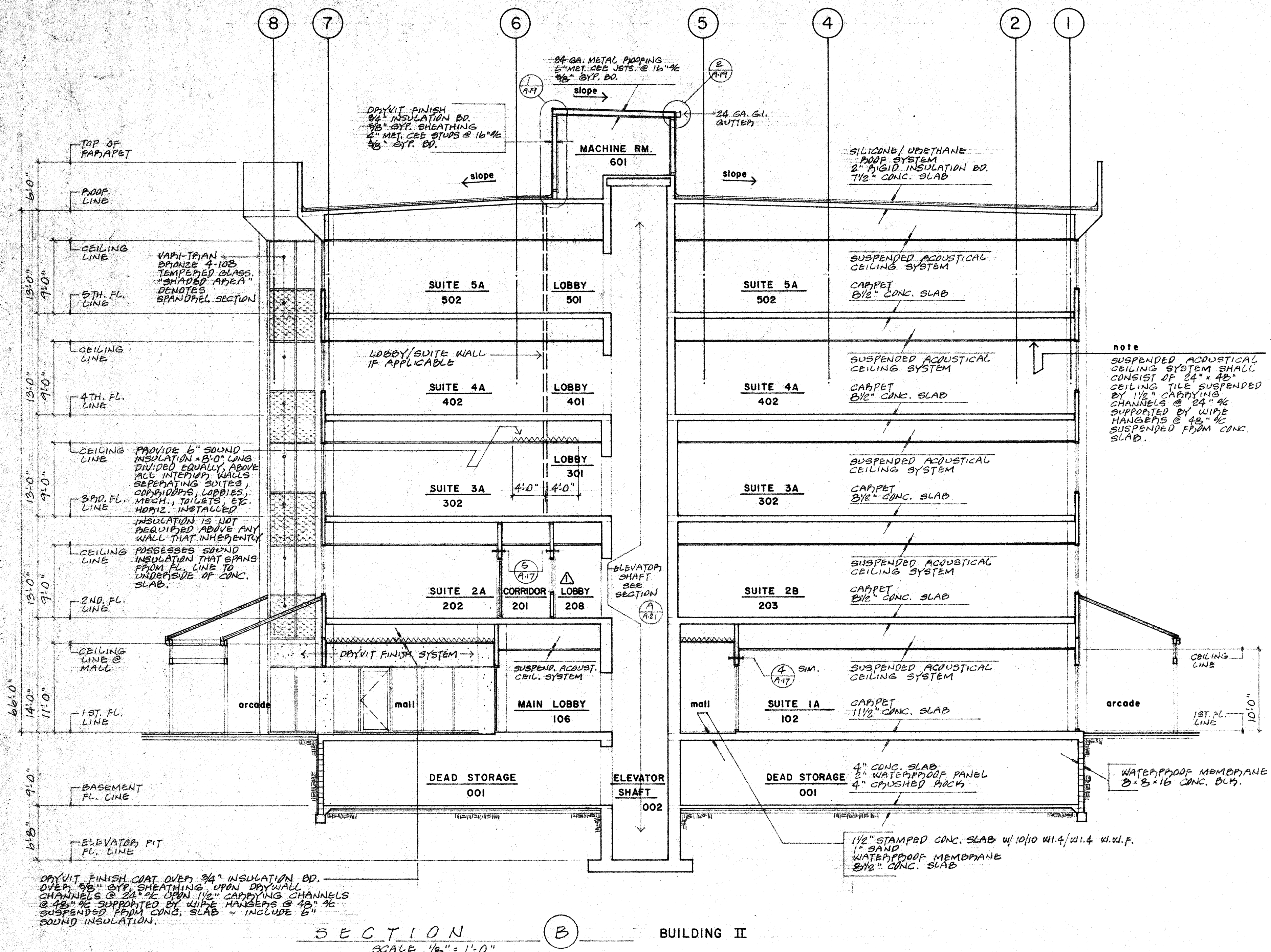
DATE 15 OCTOBER 1981

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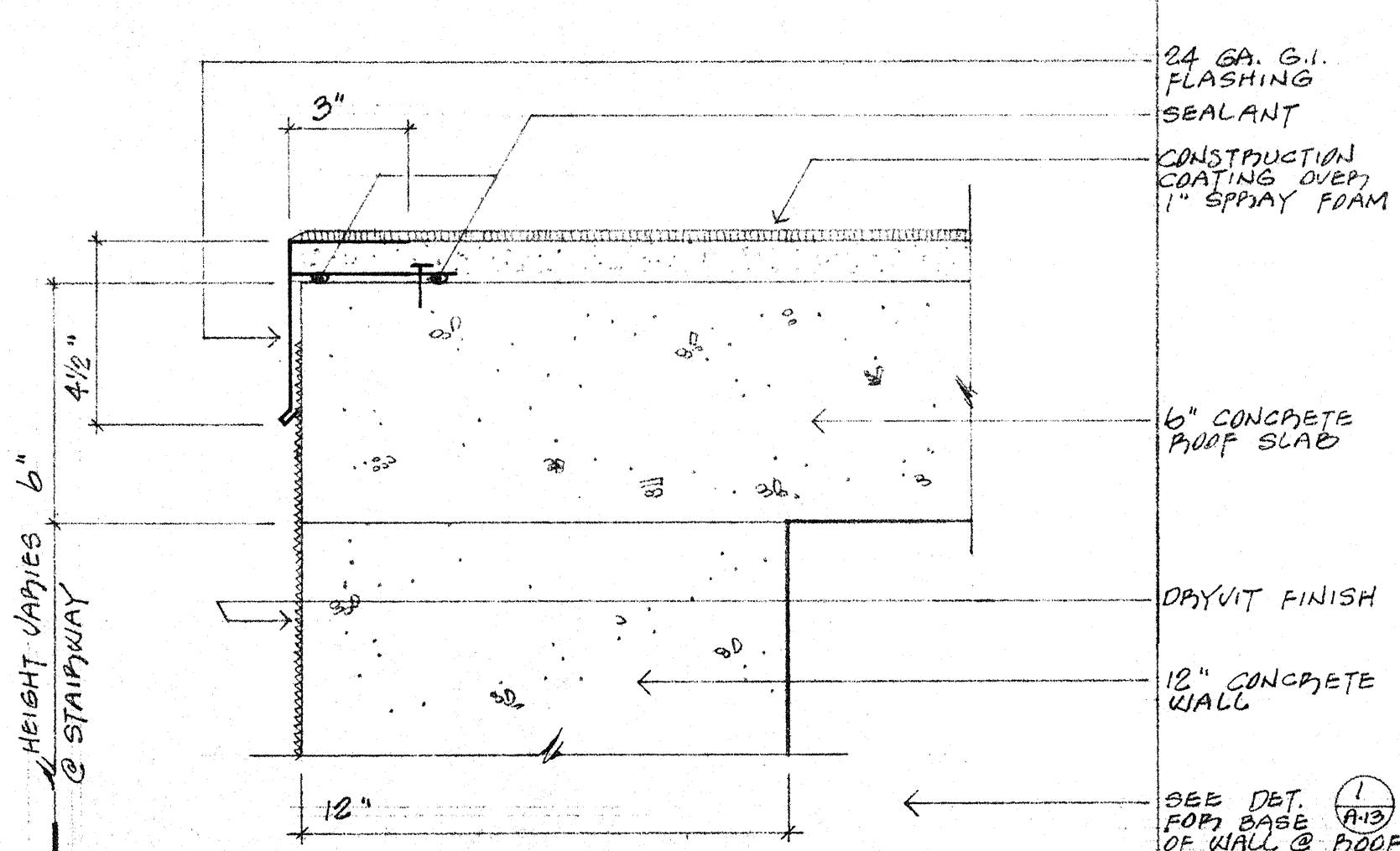




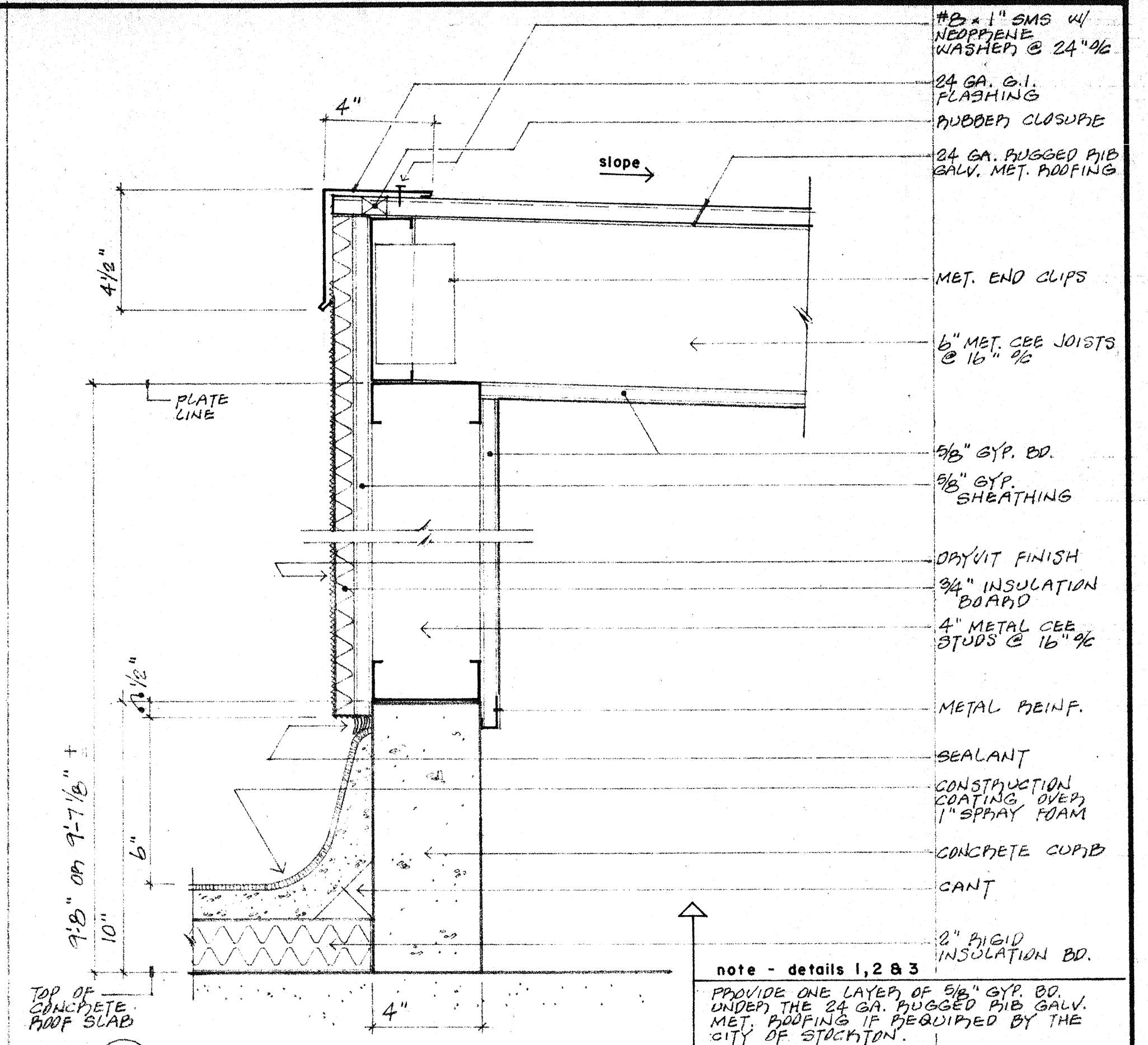
SECTION B BUILDING II
SCALE 1/8" = 1'-0"

DRYVIT FINISH COAT OVER 3/4" INSULATION BD. OVER 5/8" GYP. SHEATHING UPON DRYVIT WALL CHANNELS @ 24" OC UPON 1/2" CARRYING CHANNELS @ 24" OC SUPPORTED BY WIRE HANGERS @ 48" OC SUSPENDED FROM CONC. SLAB. INCLUDE 6" SOUND INSULATION.

note
SUSPENDED ACOUSTICAL CEILING SYSTEM SHALL CONSIST OF 24" x 48" CEILING TILE SUSPENDED BY 1/2" CARRYING CHANNELS @ 24" OC SUPPORTED BY WIRE HANGERS @ 48" OC SUSPENDED FROM CONC. SLAB.

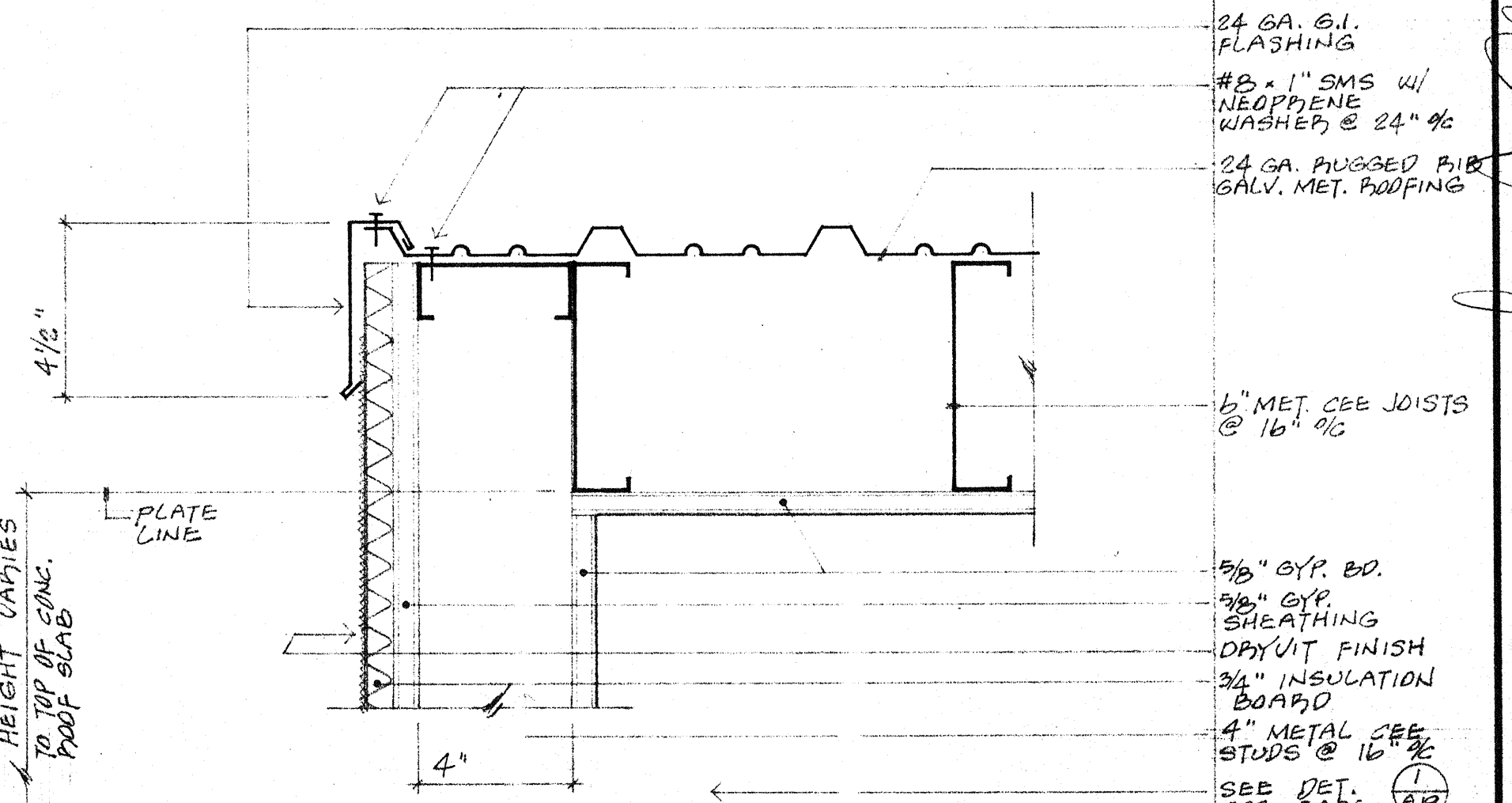


4 WALL DETAIL
SCALE 3" = 1'-0"



1 WALL DETAIL
SCALE 3" = 1'-0"

2 WALL DETAIL
SCALE 3" = 1'-0"



3 WALL DETAIL
SCALE 3" = 1'-0"

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DATE 15 OCTOBER 1961
REVISED 7 JAN. 1962

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